

Drain: COTTINGHAM ESTATES DRAIN **Drain #:** 259
Improvement/Arm: COTTINGHAM ESTATES
Operator: JDH **Date:** 3-25-04
Drain Classification: Urban/Rural **Year Installed:** 1973

GIS Drain Input Checklist

- Pull Source Documents for Scanning JJA 3-25
- Digitize & Attribute Tile Drains JJA 3-25
- Digitize & Attribute Storm Drains JJA 3-25
- Digitize & Attribute SSD JJA 3-25
- Digitize & Attribute Open Ditch N/A
- Stamp Plans JJA 3-25
- Sum drain lengths & Validate JJA 3-26
- Enter Improvements into Posse JJA 3-26
- Enter Drain Age into Posse JJA 3-30
- Sum drain length for Watershed in Posse JJA 3-30
- Check Database entries for errors JJA 3-25

**Gasb 34 Footages for Historical Cost
Drain Length Log**

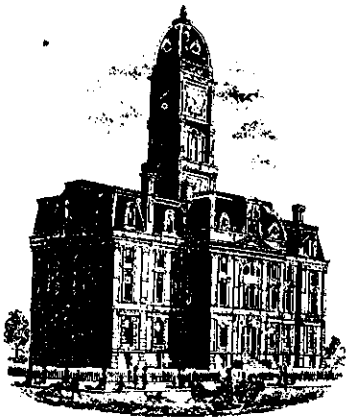
Drain-Improvement: Cottingham Estates Drain

Drain Type:	Size:	Length	Length (DB Query)	Length Reconcile	Price:	Cost:
SSd	6"	200'	124	-76	\$2 ⁰⁰	\$248 ⁰⁰
* SSd	6"	1120'	1120	∅	—	—
* RCP	12"	7'	7'	∅	—	—
RCP	12"	1487.5'	1487.5	∅	\$7 ²⁵	\$10,784.38
RCP	15"	1527'	1737'	+210	\$9 ⁵⁰	\$16,501.50
RCP	18"	1460'	1250'	-210	\$10 ⁵⁰	\$13,125.00
RCP	21"	250'	250'	∅	\$14 ²⁵	\$3,562.50
RCP	24"	180'	180'	∅	\$18 ⁰⁰	\$3,240.00
RCP	30"	855'	855'	∅	\$24 ⁰⁰	\$21,033.00
RCP	36"	705'	705'	∅	\$32 ²⁵	\$22,736.25
CMP	12"	50'	50'	∅	\$14 ⁰⁰	\$700.00
** RCP	30"	75'	75'	∅	\$24 ⁶⁰	\$1845.00
*** RCP	12"	150'	150'	∅	\$7 ²⁵	\$1087.50
*** RCPA	12"	115'	115'	∅	\$37.65	\$4,329.75
Sum:		<u>8181.5'</u>	<u>8105.5'</u>	<u>-74</u>		Historical = <u>\$91,930.63</u>

Final Report: 8181.5'

Comments:

- * Installed with 1993 Reconstruction
- * 1993 Reconstruction = 1127' additional at a value of \$ 20,836.00
- ** 1993 Reconstruction - Harrison Green Arm - 75' at value of \$ 1845.00
- *** 1993 Reconstruction - School Arm - 265' - at a value of \$ 5417.25



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Suite 146

776-8495

One Hamilton County Square

Noblesville, Indiana 46060-2230

December 22, 1993

To: Hamilton County Drainage Board

Re: Cottingham Estates Drain

Attached are plans and assessment schedule for the construction of Cottingham Estates Drain. The construction consists of the establishment of the storm sewer system of the Cottingham Estates Subdivision as a regulated drain. This was petitioned for by the County Commissioners in 1990. I have reviewed the petition and submittals and believe each to be in proper form.

The proposed construction will involve the installation of 6" SSD behind the curb on Buckingham Court, Rexham Court and Birmingham Lane per attached plans. This is being done in order to pick up sump pump outlets which now discharge onto the roadway. Along with this is the repair of the tile outlet between lots 15 & 16, extend pipe outlet at southeast corner of lot 14, install catch basin in rear of lots 48 & 49, and camera work to determine location and condition of system located west of open ditch and railroad north of Nottingham and Oakham.

The cost estimate for this work is as follows:

Repair 12" RCP, 1 each at \$500.00	\$500.00
Extend 12" RCP, 7 feet @ \$20/ft	140.00
1 - 15" Metal End Section @ 110.00	110.00
1 - 2x2 Catch Basin w/casting @ 800/ea	800.00
6" SSD - 1120 feet @ \$8.00/ft	8,960.00
Repair concrete sidewalk - 1 @ 200/ea	200.00
Repair concrete driveway - 3 @ 300/ea	900.00
5 - 6" Risers @ 200/ea	1,000.00
Repair Asphalt Driveway - 1 @ 700/ea	700.00
Repair Stone Driveway - 2 @ 200/ea	400.00
Camera & jet - 16 hrs @ 290/hr	4,640.00
Seed & Mulch - 0.5 Ac @ 4000/ac	2,000.00
	\$20,350.00
	2,035.00
	\$22,385.00

The portion to be added as regulated drain is as follows:

School Arm - From CB 24 per drainage plan by Fanning/Howey Assoc. Inc. located in right-of-way of 131st Street at southeast corner of school property east to manhole in northeast corner of intersection of 131st Street and Lantern Road (MH25), thence east to open Oliver Shoemaker Ditch.

13.5" x 22" RCPA	115 Feet ✓
12" RCP	150 Feet ✓
	265 Feet

Harrison Green Arm - Pipe section from lake to existing Cottingham Drain as shown on the development plans for the subdivision prepared by Schneider Engineering dated June 3, 1993, sheet S-7.

30" RCP

75 Feet -

Main Drain - The storm sewer system installed during the development of the Cottingham Estates Subdivision shall be considered the main drain. This system includes the following lengths:

Pipe section between lots 48 & 49	200' - 12" RCP
Pipe section between lots 15 & 16 to curb inlet on west side of Lantern Road.	226' - 12" RCP
Pipe section from southeast corner Lot 31 ²⁶ to northeast corner Lot 27 ²² to southwest corner Lot 27 ²⁶ at intersection of Rexham Ct. ^{Birch Hill Rd.} & Lantern Rd.	104' - 12" RCP
Pipe section between curb inlet at southwest corner Lot 4 to curb inlet southeast corner Lot 9 and line between lots 9 & 10.	194' - 12" RCP
Pipe under Nottingham Road on north side 131st St.	50' - 12" CMP
Pipe section from open ditch, between lots 88 & 89, to manhole at southeast corner lot 89, to curb inlet on west side Lantern Rd. to curb inlet at northwest corner lot 109 to curb inlet at southwest corner lot 105 at intersection of Buckingham Ct. & Nottingham Road.	190' - 18" RCP
Pipe sections between lot 6 & 121; 81 & Block B; north side lot 6; between lots 116-115 & lots 111 to lot 114; manhole southeast corner lot 81 to curb inlet northwest corner lot 6' front lot 81; and from curb inlet in front of lot 114 to curb inlet in front of lot 81.	75' - 15" RCP
	221' - 15" RCP
	489' - 18" RCP
	250' - 21" RCP
	180' - 24" RCP
	189' - 12" RCP
Pipe section between open ditch & southeast corner lot 96	51' - 15" RCP
Pipe section between open ditch & curb inlet at north corner lot 93 to curb inlet in front of Block C.	
Pipe section from open ditch north along east line tract 11-19-00-00-022.	322' - 30" RCP
Pipe section from northwest corner lot 98 to manhole on east side Effingham Road between lots 98 & 99.	222' - 15" RCP
Pipe section between curb inlet near southeast corner lot 98 to curb inlet east across Effingham Road north to manhole, thence southeast to open ditch.	317' - 30" RCP
Pipe section between manhole at northwest corner tract 11-19-00-00-022.000, south to manhole east side Effingham Road.	113' - 18" RCP
Pipe section from southeast corner lot 15 Harrison Green east to 30" RCP on east side of Lantern Road across south end of tract 11-19-00-00-031.001.	126' - 30" RCP
Pipe section from curb inlet northeast corner lot 54 to curb inlet southeast corner lot 62 east to curb inlet near northwest corner lot 64.	305' - 15" RCP
	42' - 15" RCP
	46' - 18" RCP
Pipe along front of lot 12 & 13.	370' - 12" RCP
Pipe section along east side Lantern Road in front of lots 63, 64 & 65.	165' - 30" RCP
	330' - 36" RCP
Pipe section between lots 79 & 80.	226' - 12" RCP
Line between lot 75 & 76 and between curb inlets at northwest corner lot 76 to northeast corner lot 27 and southeast corner lot 31.	290' - 12" RCP
Line between lots 72 & 73 and between structures at northwest corner lot 73 to curb inlet to northeast corner lot 33 to southeast corner lot 41.	134' - 12" RCP
	810' - 15" RCP

Line between lots 66 and 95-94 and 65-66 from open ditch to north-west corner lot 66.

375' - 36" RCP

Line between lots 69 and 70, to structures between open ditch and southwest corner lot 69, to curb inlet front lot 69, to southeast corner lot 43 to southwest corner lot 43, to northwest corner lot 43 to southwest corner lot 53. Also between northwest corner lot 43 to southwest corner lot 49.

22' - 12" RCP

587' - 15" RCP

436' - 18" RCP

Total length from the drain is 7397 feet.

Items listed in the report dated September 24, 1990 should be done on maintenance at a later date if problems develop.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable; will improve the public health; benefit a public highway and be of public utility; and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited.

The retention pond (lake) located in Harrison Green Section 1, at the rear of Lots 24-33 is not to be considered part of the regulated drain. Only the inlet and outlet will be maintained as part of the regulated drain. The maintenance of the pond (lake) will be the responsibility of the Homeowners Association. The Board will however, retain jurisdiction for ensuring the storage volume for which the lake was designed will be retained. Thereby, allowing no fill or easement encroachments.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs on Rexham Ct., Buckingham Ct. and Birmingham Lane. Only the main SSD lines which are located within the right-of-way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain. Parcels assessed for this drain will also be assessed for the Oliver Shoemaker Drain.

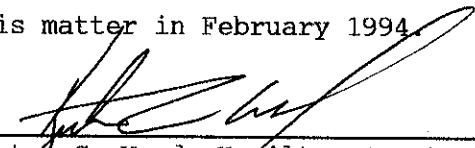
I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain. I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$2.00 per acre with a \$10.00 minimum. With this assessment the total annual assessment for this drain will be \$2,817.20.

I have reviewed the plans and believe that each lot would benefit equally for construction. I recommend an assessment for construction be set at \$81.88 per acre with a \$50.00 minimum.

I recommend that the drainage easements for the sections of drain described above be set at 15' both sides of the centerline of the tile. This easement width will affect the following lots in Cottingham Estates.

Tract 11-19-00-00-031.001, 11-19-00-00-031.003, 11-19-00-00-022, 11-19-00-00-021, 11-30-01-03-003, Lots 61,62,63, 98,99, 14,15,16, 12,13, 9,10, 79,80, 23,24,25,26, 75,76, 27,28, 30,31, 81, Bl B, 7, 114, 6, 21, 115,116, 113, 111, 112, 117, 33, 41, 72,73, 69, 70, 107,108,109, 88,89, 65,66, 94,95, Bl C, 93, 64, 49,48, 43,44,45,46 & 42.

I recommend the Board set a hearing for this matter in February 1994.


Kenton C. Ward, Hamilton County Surveyor

KCW/jh



SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, Surveyor

Suite 146

776-8495

One Hamilton County Square

Noblesville, Indiana 46060-2230

October 5, 1995

TO: Hamilton County Drainage Board

RE: Cottingham Estates Drain

I recently found that the final reports for the drain had not been submitted. The reconstruction was done by Sweeney Construction Corporation under contract dated June 27, 1994. The contract amount was \$21,191.00. The estimate for the work was \$22,385.00 per my report dated December 22, 1993.

During construction, changes were made to the drain which will alter the plans, submitted with my report for this drain dated December 22, 1993. The changes are as follows: Change Order #1 resulted in a savings of \$770.00. The change order saw the deletion of the fifteen (15") inch RCP repair on Tract # 11-19-00-00-031.000. Inlet type A (2x2) was omitted. An investigation behind the curb inlet on Brixham Court found the twelve (12") inch RCP drain ended four and half (4.5') feet behind the inlet. Driveway borings were used on two (2) of the three (3) driveways at Buckingham Court and Lantern Road in lieu of cutting and patching. On Birmingham Lane, the six (6") inch SSD on the North side was lengthened from 190 feet to 194 feet. The six (6")

inch SSD on the South side was shortened from 240 feet to 236 feet. ✓ Change Order #2 saw an additional purchase of 25.6 Cubic yards of washed gravel and an exploratory excavation at Brixham Street structure. These two (2) changes cost a total of \$424.00. On the original report the six (6") inch SSD along Gillingham Street was omitted. The total length of six (6") inch SSD is 1,320 feet. The total length of drain listed below is a total of RCP and six (6") inch SSD combined.

The length of the drain due to the changes described above is now ~~8,177~~ feet.

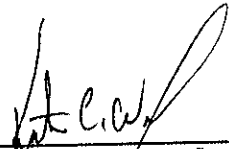
8181.5'

The total cost of the project with the contract prices and the change order is \$20,836.00, below the estimate of \$22,385.00.

The payments to the Contractor are as follows:

Claim # 94-437	August 31, 1994	\$14,911.55
Claim # 94-448	October 4, 1994	5,035.78
Claim # 95-106	April 13, 1995	888.67

The Board should approve the claims and accept the work as complete.



Kenton C. Ward
Hamilton County Surveyor
KCW/no

SLM

CONSTRUCTION PLANS

COTTINGHAM ESTATES

FOURTH SECTION

NOBLESVILLE, INDIANA

INDEX	
Sheet	Description
1	Title Sheet
2-3	Development Plans
4-5	Plan & Profile (Storm Sewer)
6-8	Plan & Profile (Street)
9	Details

GENERAL NOTES:

ALL STORM SEWERS SHALL BE CONSTRUCTED WITH REINFORCED CONCRETE PIPE AS NOTED:

REINFORCED CONCRETE PIPE SHALL CONFORM TO A.S.T.M. C-76-III

PIPE SHALL BE BEDDED IN ACCORDANCE WITH DETAIL SHOWN

DEVELOPER:

LEE KING - INDIANAPOLIS, INDIANA

PLANS PREPARED BY:

WEIHE ENGINEERS, INC. - INDIANAPOLIS, INDIANA

CERTIFIED: 2-5-73

Gary L. Kern
GARY L. KERN, REG. L.S., IND. 50136

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Entry Date: 3-25-04

Entered by: JDH



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SHEET NO.

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OF 9


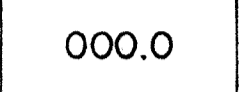
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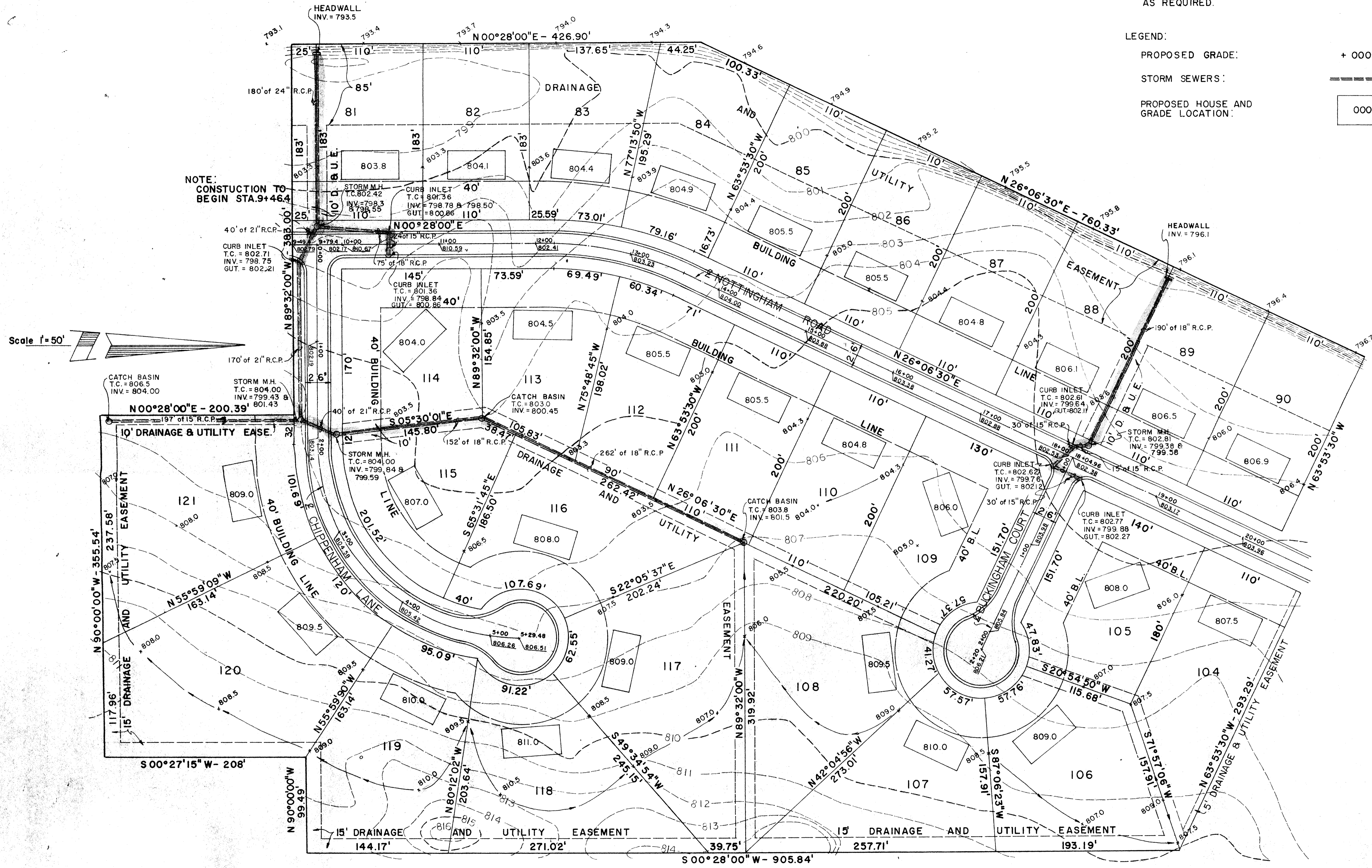
REVISIONS

JOB NO. 72-2620
 DRAWN BY
 CHECKED BY
 DATE 1-19-73

WEIHE ENGINEERS, INC.
 CIVIL ENGINEERS
 LAND SURVEYORS
 10518 NORTH COLLEGE AVE. INDIANAPOLIS, INDIANA 46280 AREA CODE 317-846-6135

NOTE:
 GRADES ARE SHOWN AS A GUIDELINE FOR PLACING EXCESS CUT, ALL SWALES ALONG REAR LOTS LINES SHALL BE CUT TO THE GRADES SHOWN AND THE EXCAVATED MATERIAL PLACED AT THE HOUSE SITES AS REQUIRED.

LEGEND:
 PROPOSED GRADE: + 000.0
 STORM SEWERS: 
 PROPOSED HOUSE AND GRADE LOCATION: 



WEIHE ENGINEERS, INC.
 LAND SURVEYORS
 CIVIL ENGINEERS
 INDIANAPOLIS, INDIANA 46280 AREA CODE 317-646-6135
 10515 NORTH COLLEGE AVE.

JOB NO. 72-2620
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 CHECKED BY [Signature]
 DATE 1-17-73

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PREPARED FOR:
 COTTINGHAM ESTATES - FOURTH SECTION
 NOBLESVILLE, INDIANA
 DEVELOPMENT PLAN

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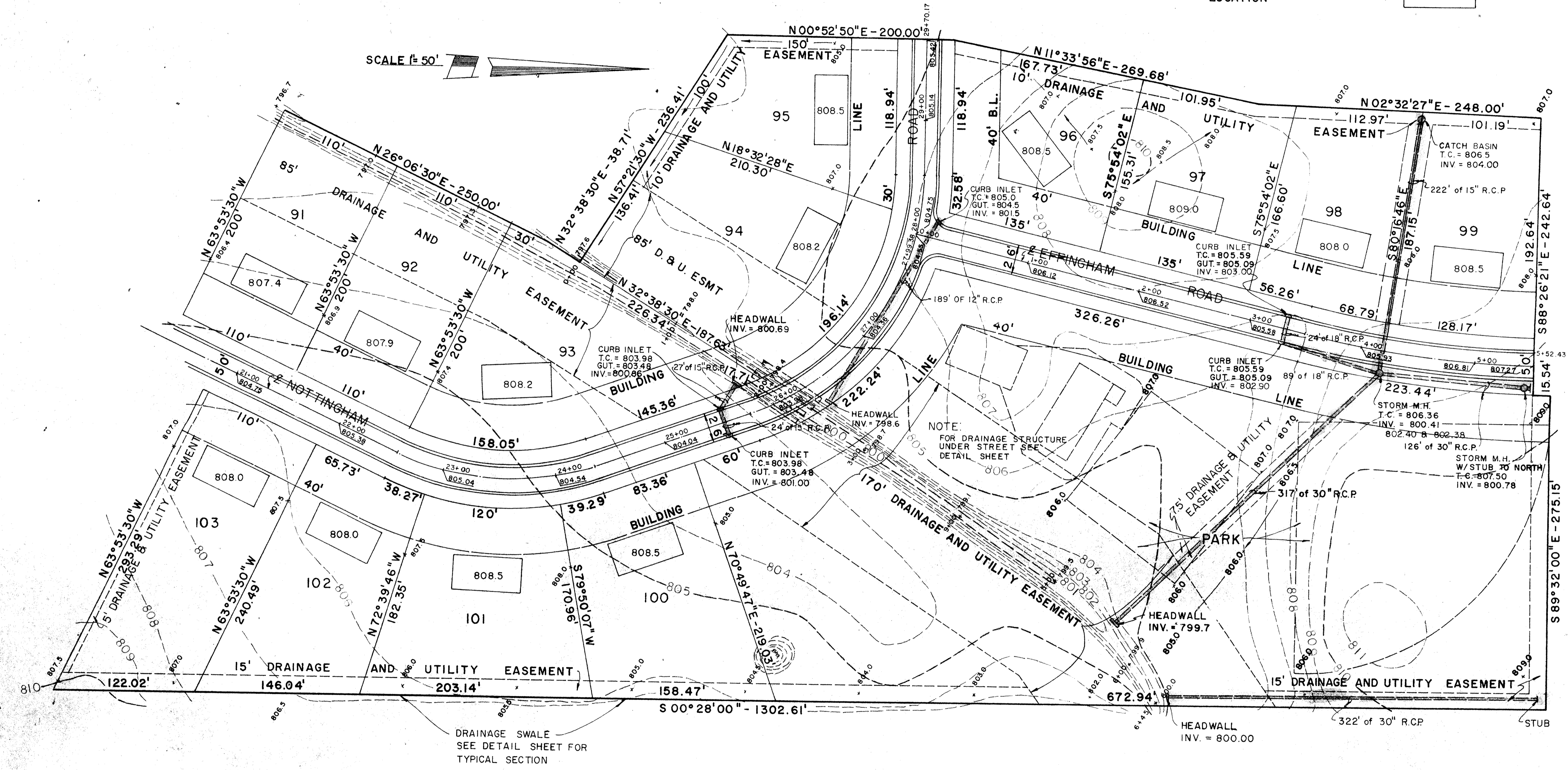
SHEET NO. 2
 OF 9

NOTE:
 DITCH GRADES SOUTH OF STA. 0+00 FOR INFORMATION ONLY
 DITCH FROM STA. 0+00 TO STA. 6+45 WILL BE CONSTRUCTED
 TO TYPICAL SECTION SHOWN ON DETAIL SHEET.

NOTE:
 GRADES ARE SHOWN AS A GUIDELINE FOR PLACING
 EXCESS CUT; ALL SWALES ALONG REAR LOT LINES
 SHALL BE CUT TO THE GADES SHOWN AND THE
 EXCAVATED MATERIAL PLACED AT THE HOUSE
 SITES AS REQUIRED.

LEGEND:
 PROPOSED GRADE 000.0
 PROPOSED STORM SEWER
 PROPOSED HOUSE AND GARAGE LOCATION 000.0

SCALE 1" = 50'



DRAINAGE SWALE
 SEE DETAIL SHEET FOR
 TYPICAL SECTION

NOTE:
 FOR DRAINAGE STRUCTURE
 UNDER STREET SEE
 DETAIL SHEET

WEIHE ENGINEERS, INC.
 LAND SURVEYORS
 CIVIL ENGINEERS
 INDIANAPOLIS, INDIANA 46280 AREA CODE 317-946-9135
 10815 NORTH COLLEGE AVE

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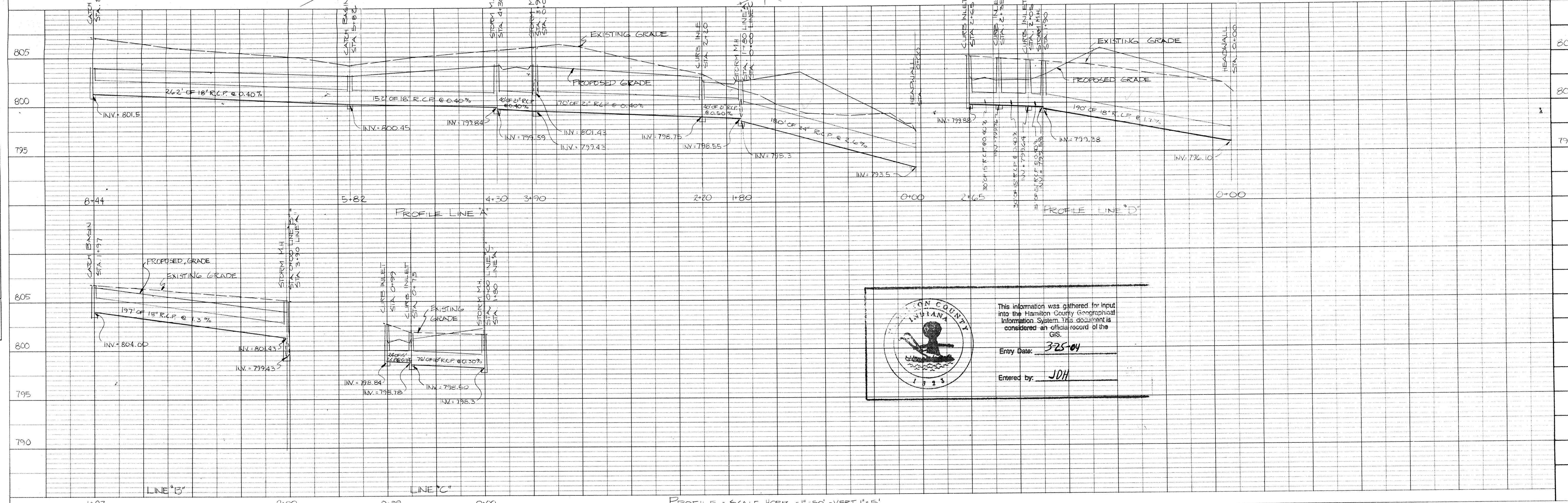
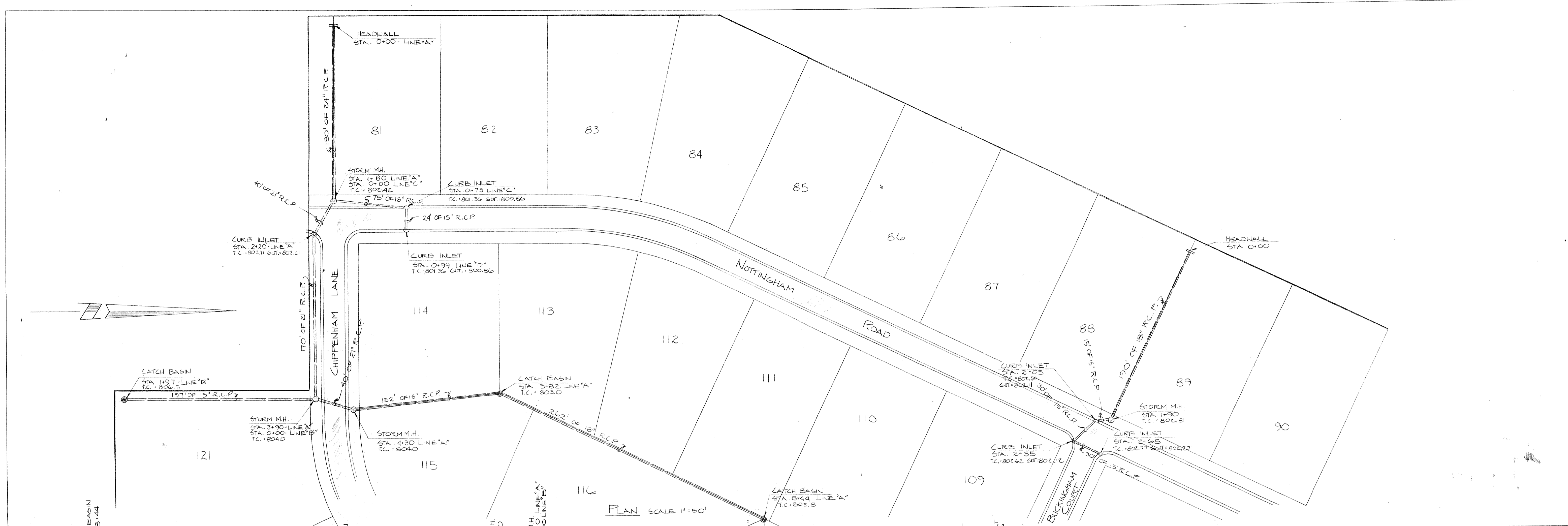
PREPARED FOR:
 COTTINGHAM ESTATES - FOURTH SECTION
 NOBLESVILLE, INDIANA
 DEVELOPMENT PLAN

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SHEET NO.
 3
 OF 9

PLAN
SURVEYED
ALIGNED
NOTED
STRUCTURE NOTATION CHKD

PROFILE
SURVEYED
GRADES CHECKED
B.M.'S NOTED
STRUCTURE NOTATION CHKD



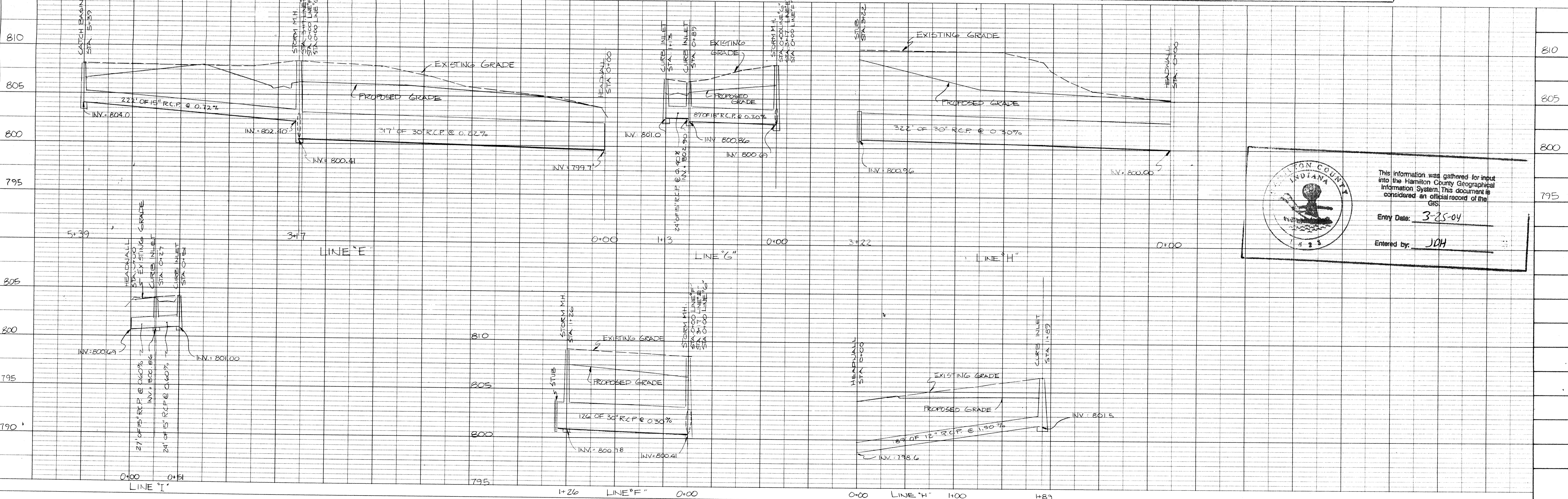
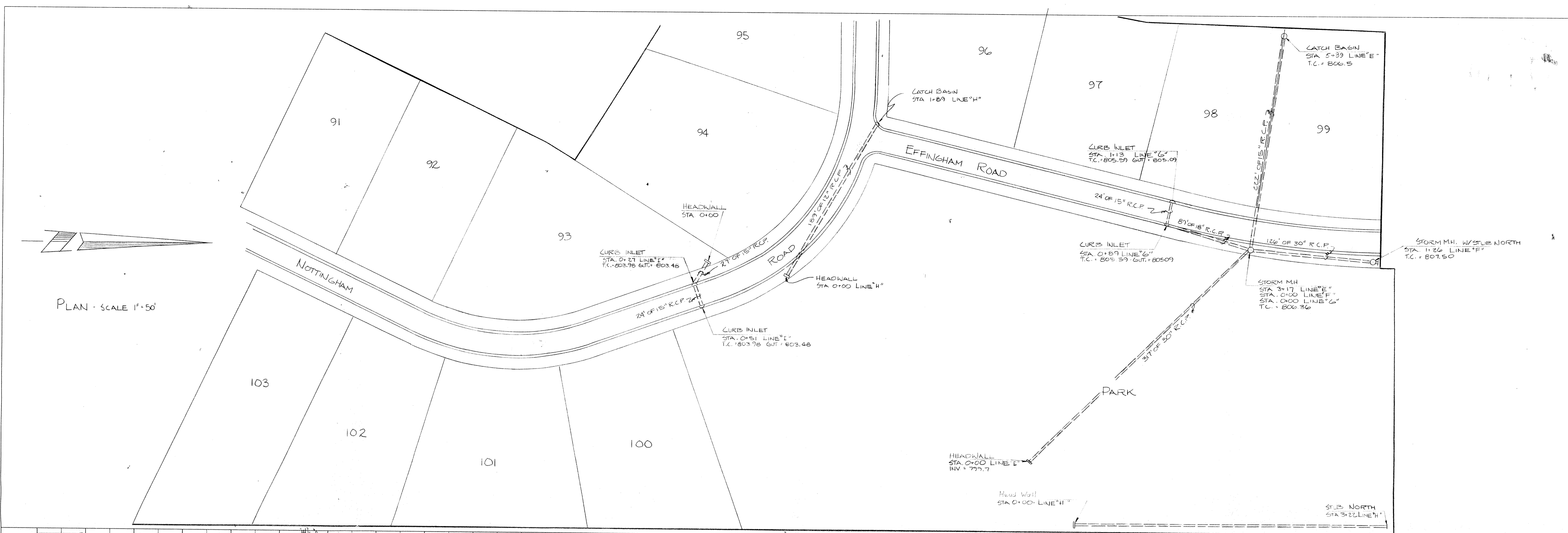
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 Indiana
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Entry Date: 3-25-04
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PLATE 1 SINGLE PLAN - PROFILE
CHARLES BRUNING CO. PROFILE SCALE HORIZ 1"=50' VERT 1"=5'

WEIHE ENGINEERS, INC.
LAND SURVEYORS
CIVIL ENGINEERS
10515 NORTH COLLEGE AVE. INDIANAPOLIS, INDIANA 46280 AREA CODE 317-846-6135

JOB NO. 72-26-20

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CHECKED BY [Signature]

DATE 11-23-73

REVISIONS

PREPARED FOR:
COTTINGHAM ESTATES - FOURTH SECTION
NOBLESVILLE, INDIANA

STORM SEWER PLAN & PROFILE

SHEET NO. 5

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PLAN	SURVEYED	DATE
NOTE BOOK	ALIGNED	BY
NO.	PLOTTED	
	NO. OF WAY	
	CHECKED	
	NO.	

PROFILE	SURVEYED	DATE
NOTE BOOK	GRADES	BY
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	STRUCTURE	
	NOTATIONS	
	CHKD	

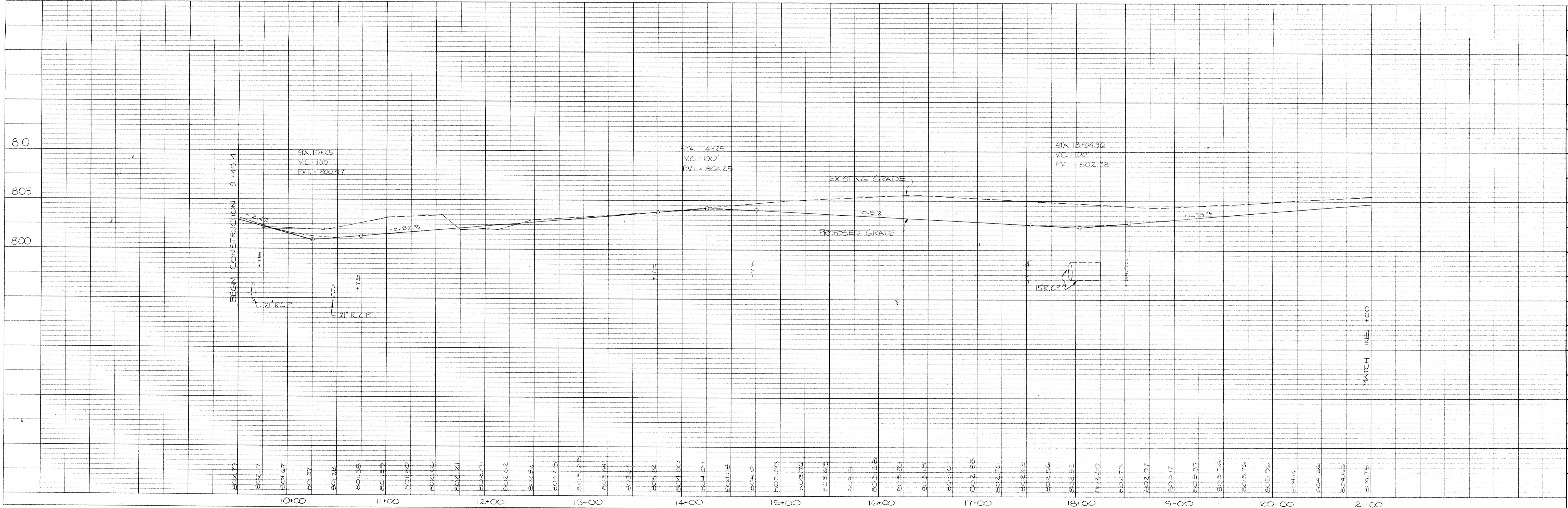
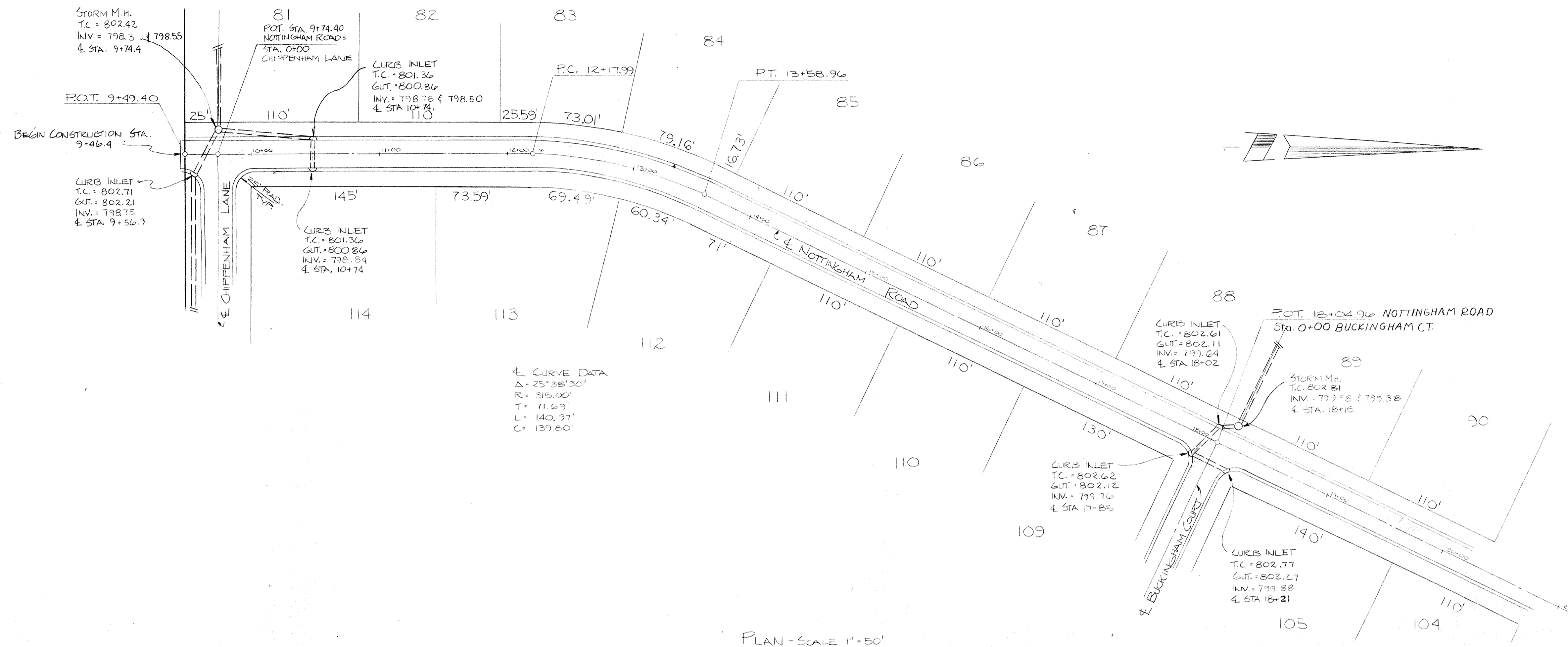


PLATE 1 SINGLE PLAN - PROFILE
 CHARLES BRUNING CO.
 PROFILE VERT. 1" = 5' - HORIZ. 1" = 50'

WEIHE ENGINEERS, INC.
 LAND SURVEYORS
 CIVIL ENGINEERS
 10515 NORTH COLLEGE AVE. INDIANAPOLIS, INDIANA 46280 AREA CODE 317-848-8135

JOB NO. 72-2620
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 1-27-73

DATE BY: [Signature]

REVISIONS

PREPARED FOR:
 COTTINGHAM ESTATES - FOURTH SECTION
 NOBLESVILLE, INDIANA

STREET PLAN & PROFILE

SHEET NO. **6**
 OF 9

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PLAN	DATE
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ALIGNED	
NOTED	
BY	
NO. BOOK	
NO. CHECKED	
RT. OF WAY CHECKED	

PROFILE	DATE
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GRADES CHECKED	
STRUCTURE NOTATIONS CHKD	
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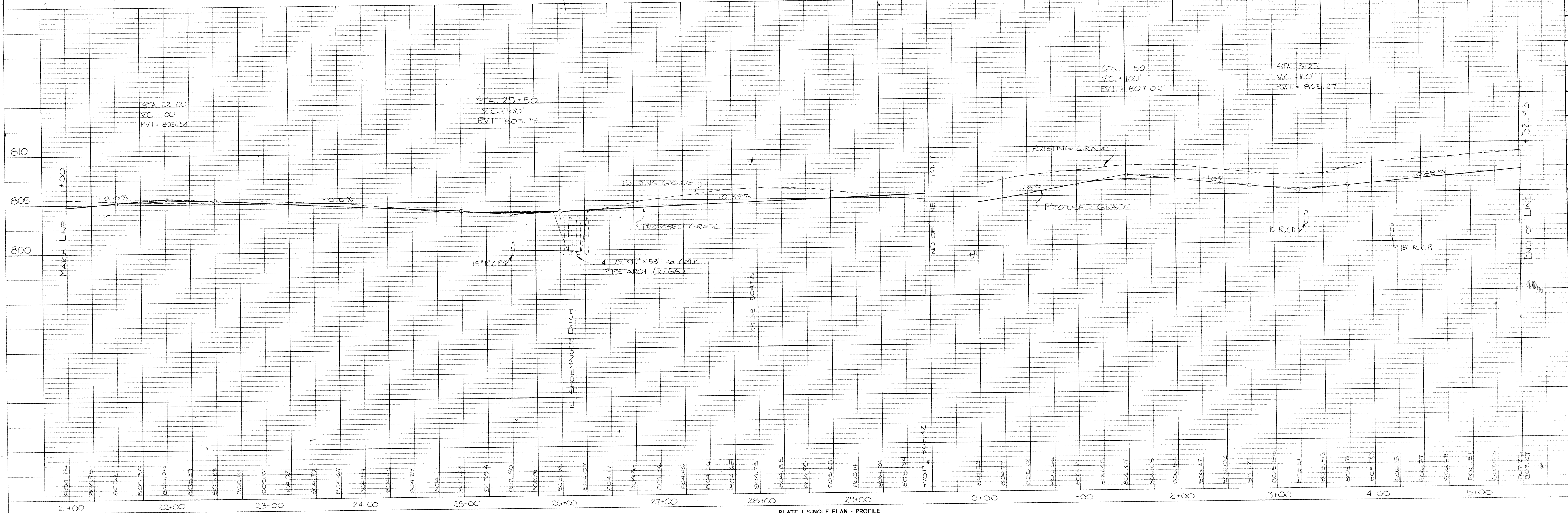
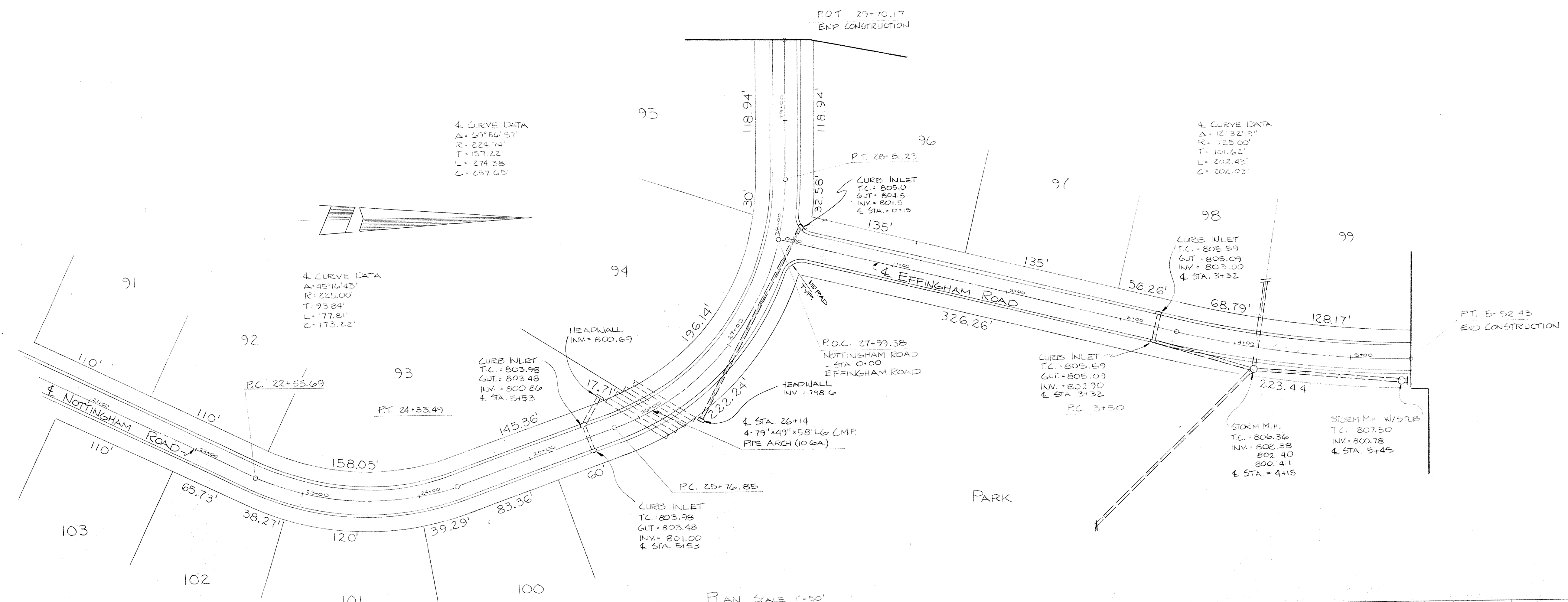


PLATE 1 SINGLE PLAN - PROFILE
 CHARLES BRUNING CO.

WEIHE ENGINEERS, INC.
 CIVIL ENGINEERS
 LAND SURVEYORS
 10518 NORTH COLLEGE AVE. INDIANAPOLIS, INDIANA 46280 AREA CODE 317 846 6135

JOB NO.	72-2620
DRAWN BY	S.A.S. JCF
CHECKED BY	Calvin
DATE	1/17/75

PREPARED FOR:
 COTTINGHAM ESTATES - FOURTH SECTION
 NOBLESVILLE, INDIANA

STREET PLAN & PROFILE

SHEET NO.	7
OF	9

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PLAN	REVISIONS	DATE
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	ALIGNMENT CHECKED	
	RT. OF WAY CHECKED	

PROFILE	REVISIONS	DATE
NO.	GRADES CHECKED	
	E.M.V. NOTED	
	STRUCTURE NOTATIONS CHKO	

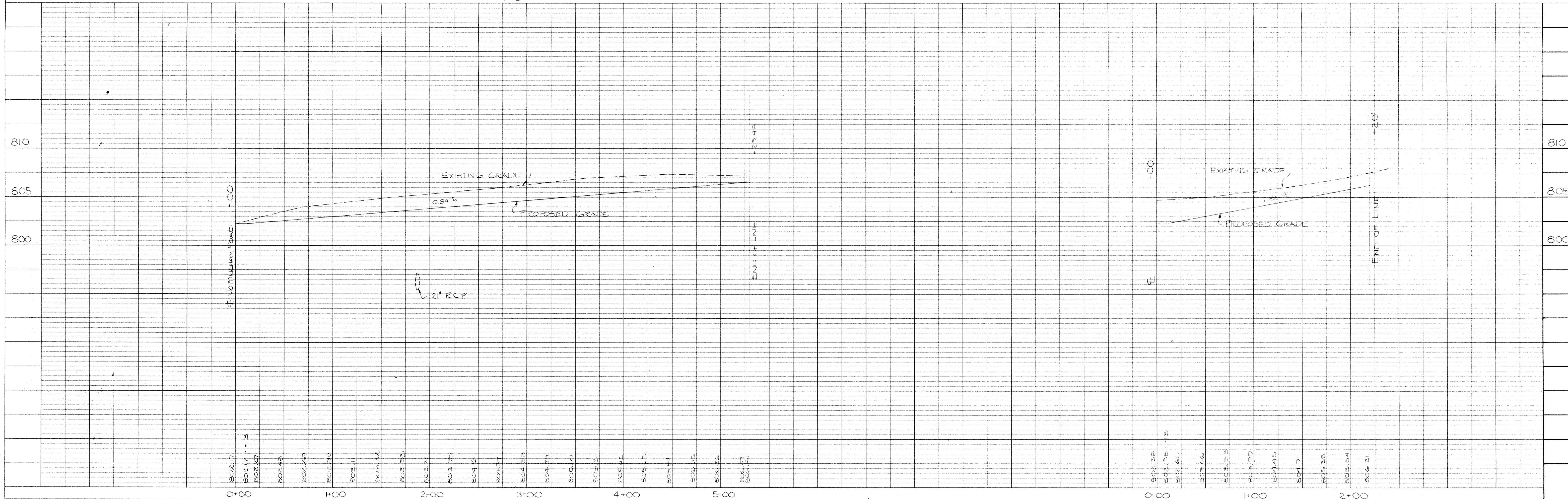
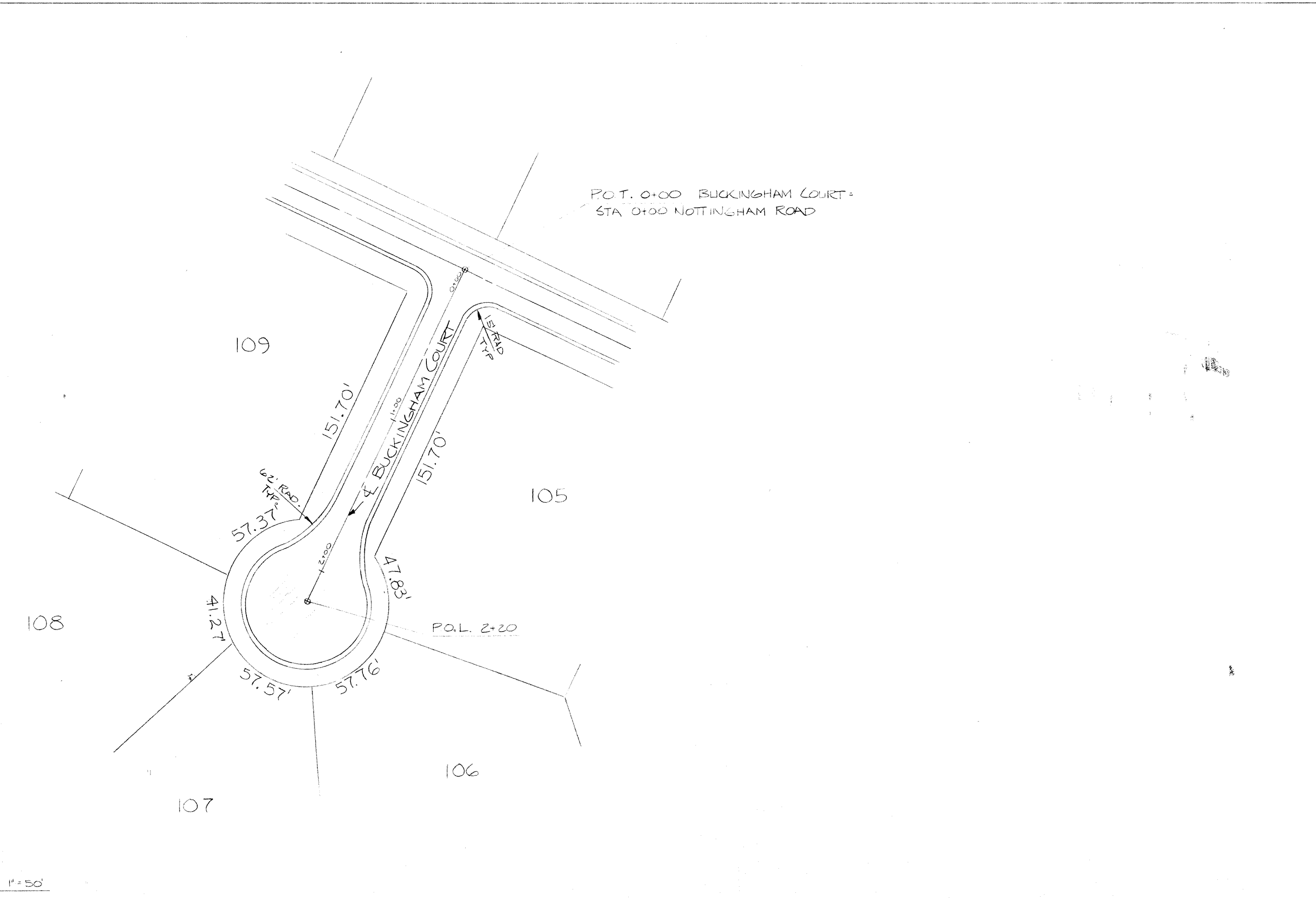
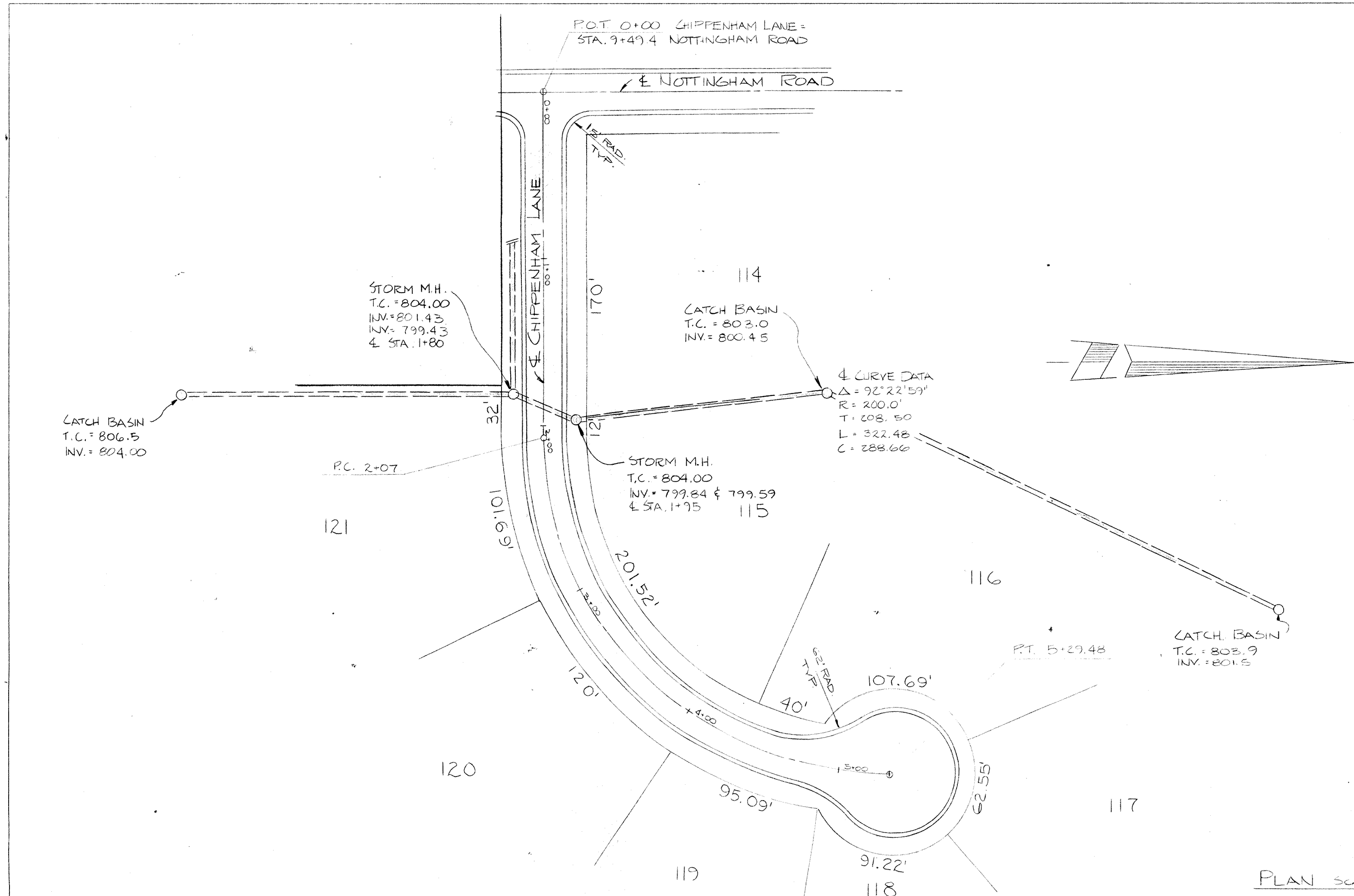


PLATE 1 SINGLE PLAN - PROFILE
 CHARLES BRUNING CO. PROFILE SCALE 1"=5' VERT - 1"=50' HORIZ.

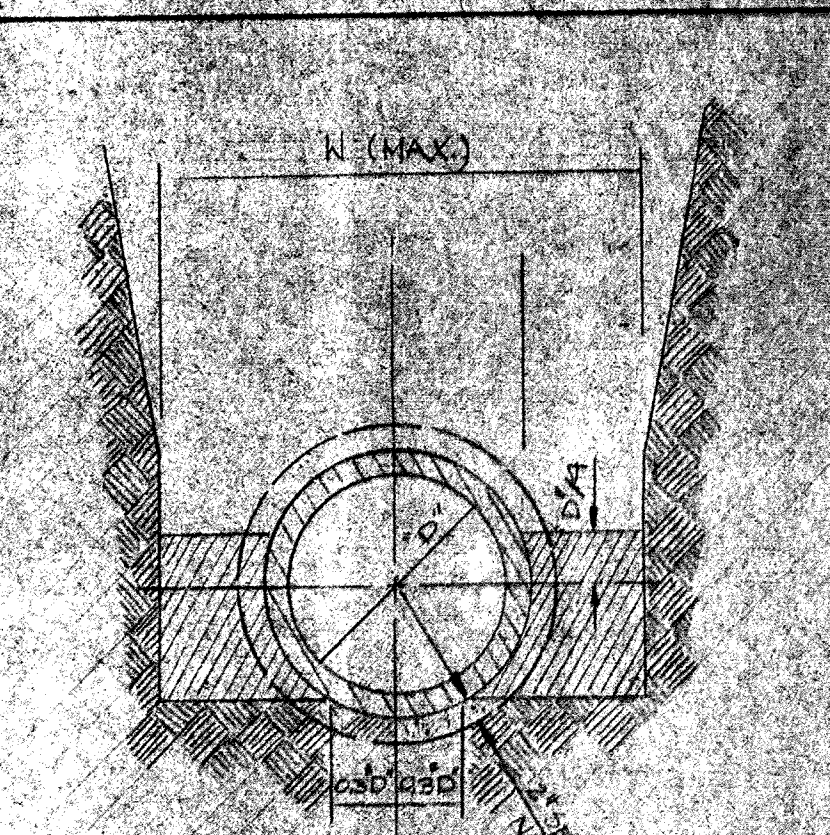
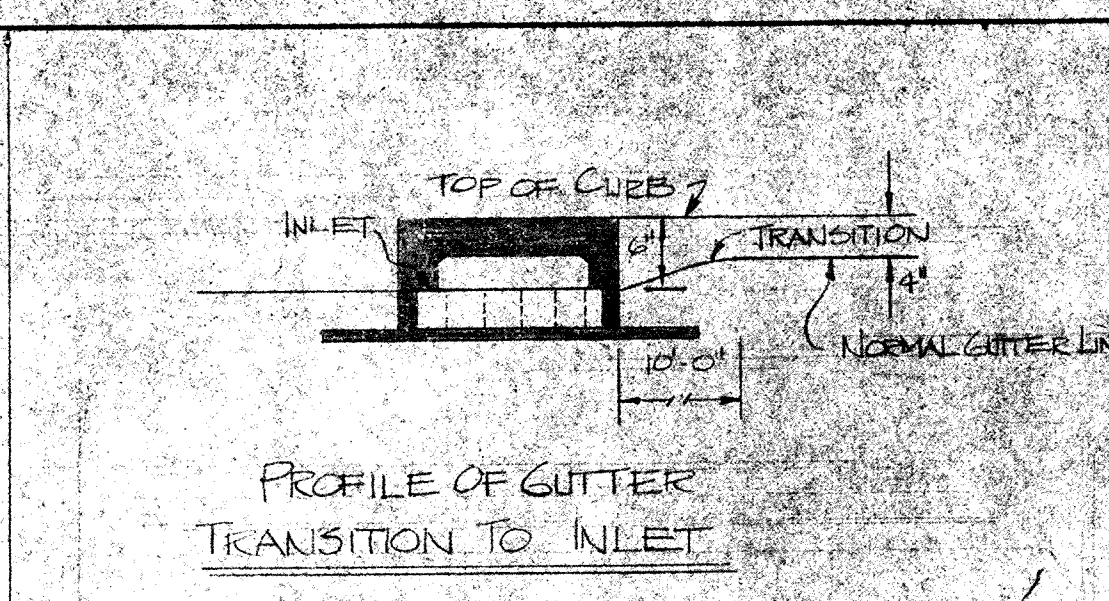
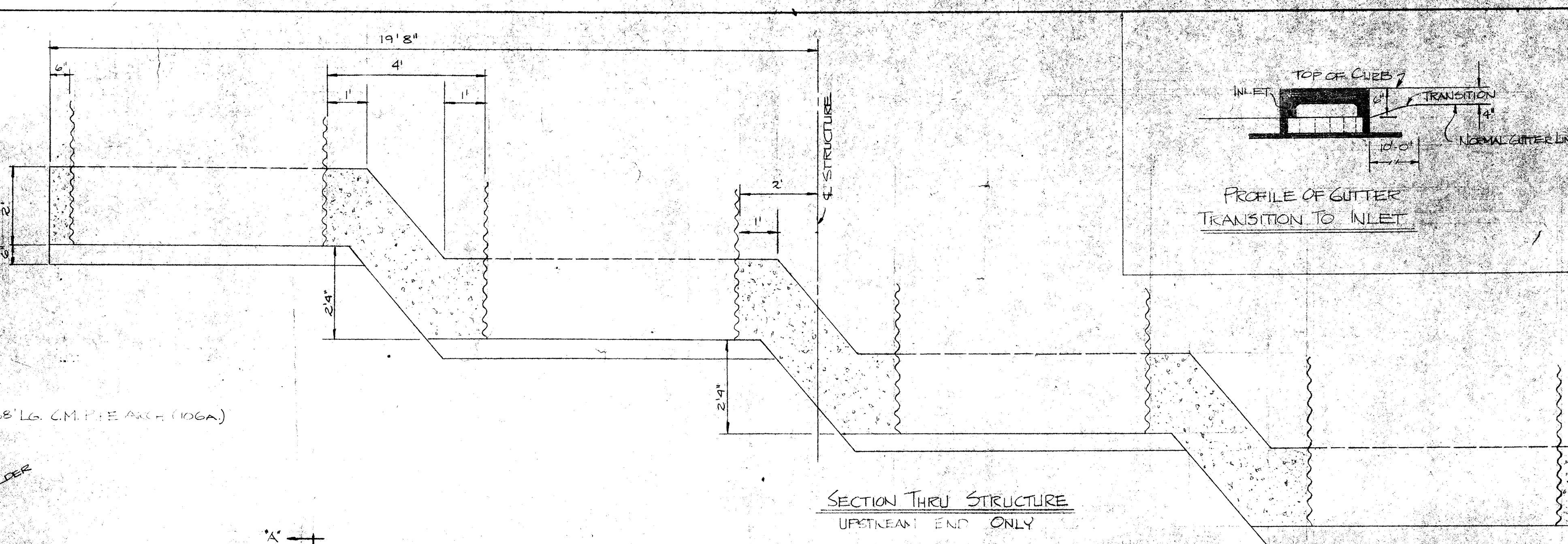
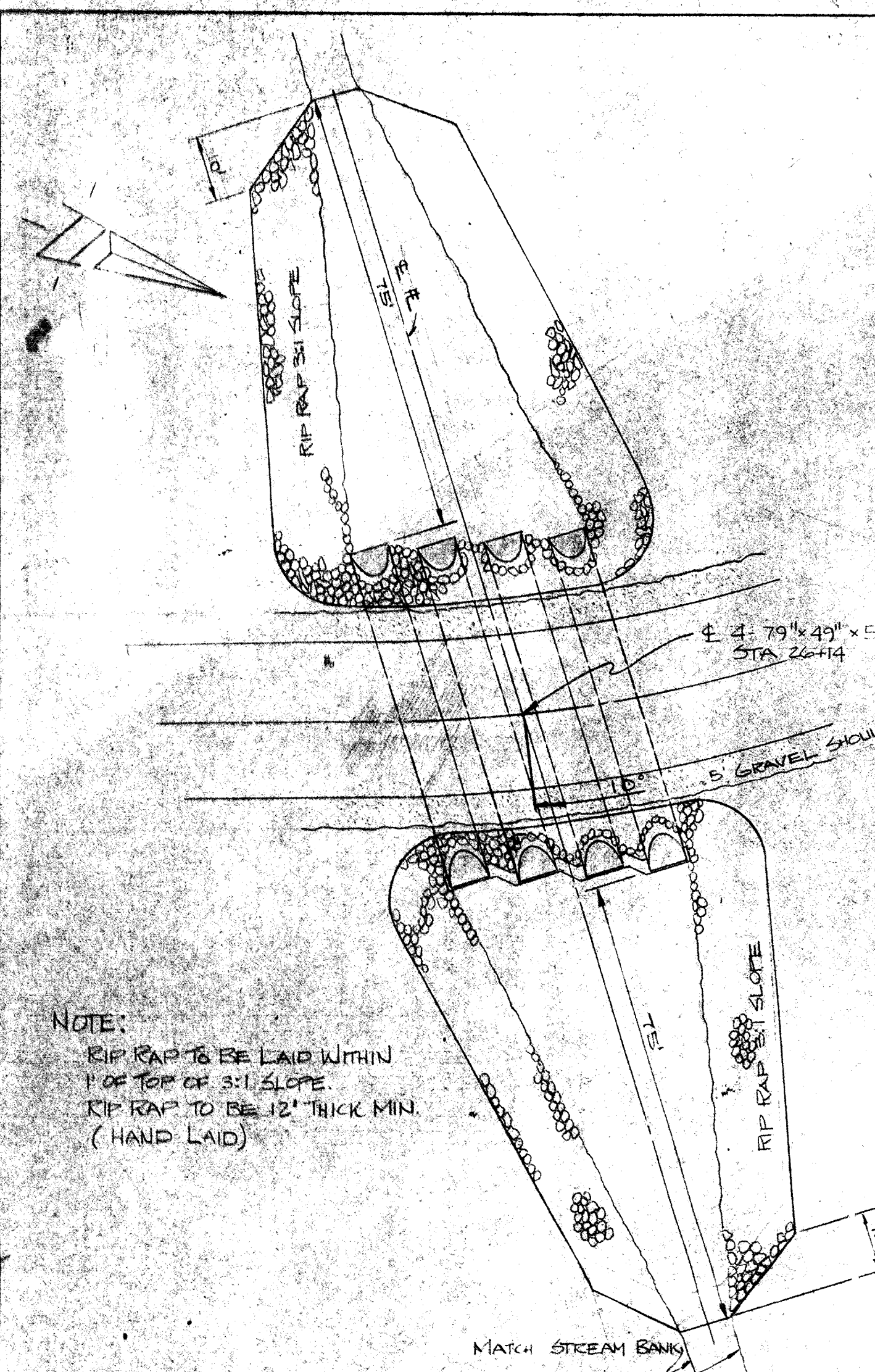
WEIHE ENGINEERS, INC.
 LAND SURVEYORS
 CIVIL ENGINEERS
 10515 NORTH COLLEGE AVE. INDIANAPOLIS, INDIANA 46280 AREA CODE 317-846-8135

JOB NO. T2-20-20
 DRAWN BY C. Bruning
 CHECKED BY [Signature]
 DATE 1-16-73

STORM SEWER REV. 2-1-73 (C)
 PREPARED FOR: COTTINGHAM ESTATES - FOURTH SECTION
 NOBLESVILLE, INDIANA
 STREET PLAN & PROFILE

SHEET NO. 8 OF 9

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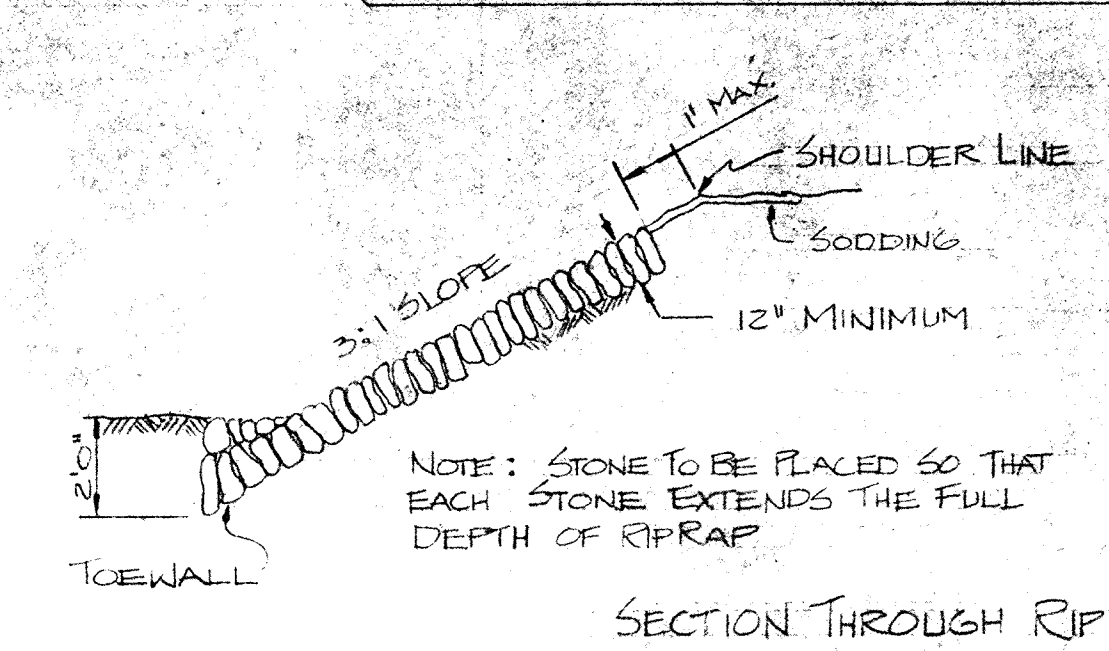
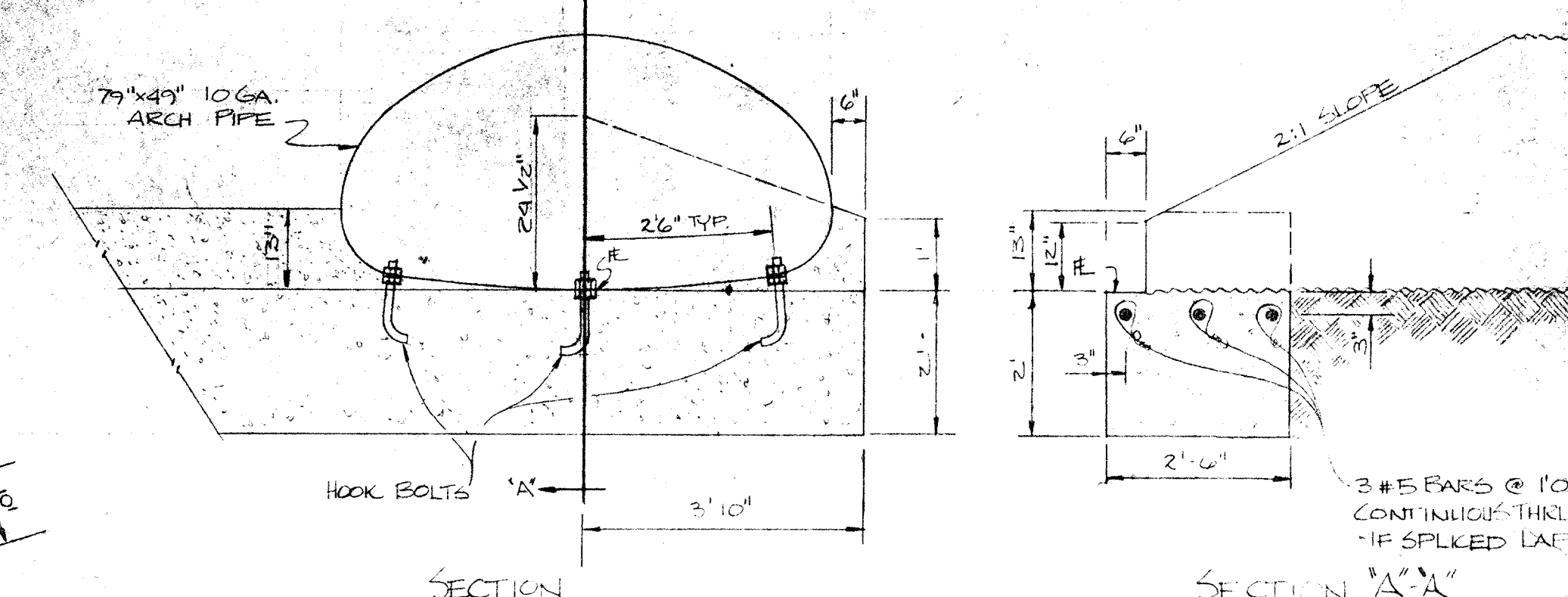
NOTE: PIPE SHALL BE BEDDED FIRMLY ON UNDISTURBED GROUND PER LEFT HALF SECTION. IF OVERSINKING OCCURS, A MINIMUM OF 2" OF COMPACTED GRANULAR BEDDING MATERIAL CONSISTING OF UNIFORM GRADED GRAVEL OR CLEANED STONE PASSING A #20 SCREEN SHALL BE PLACED IN THE EXCAVATION. EXCAVATION SHALL BE MADE FOR DEPTH HOLES SO THAT EACH SECTION OF PIPE IS UNIFORMLY SUPPORTED THROUGHOUT ITS ENTIRE LENGTH.

MAX ALLOWABLE TRENCH WIDTH 'W' AT TOP OF PIPE

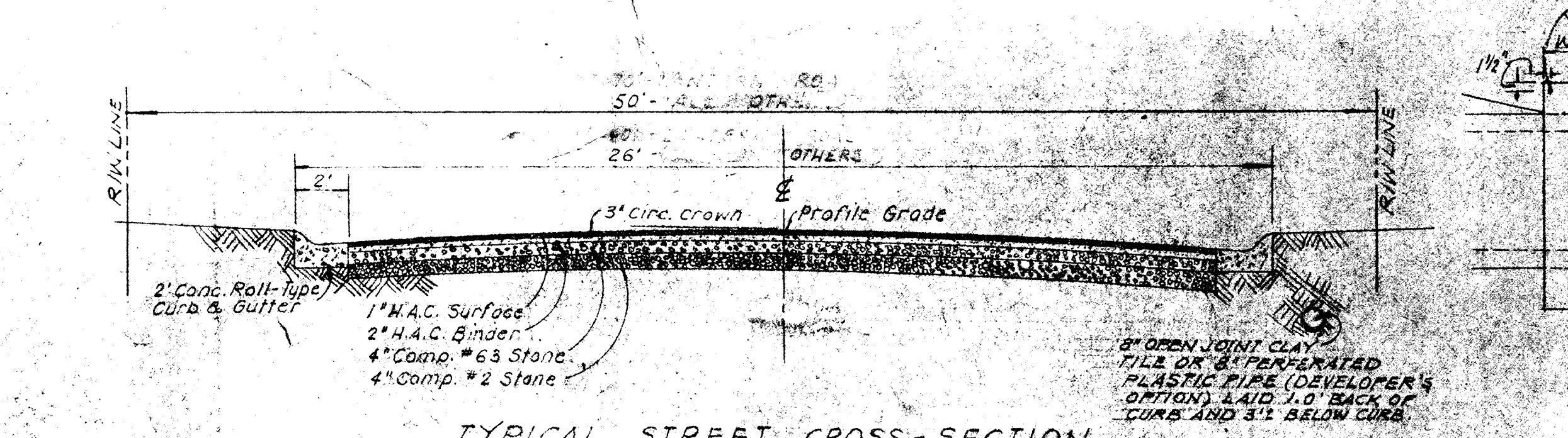
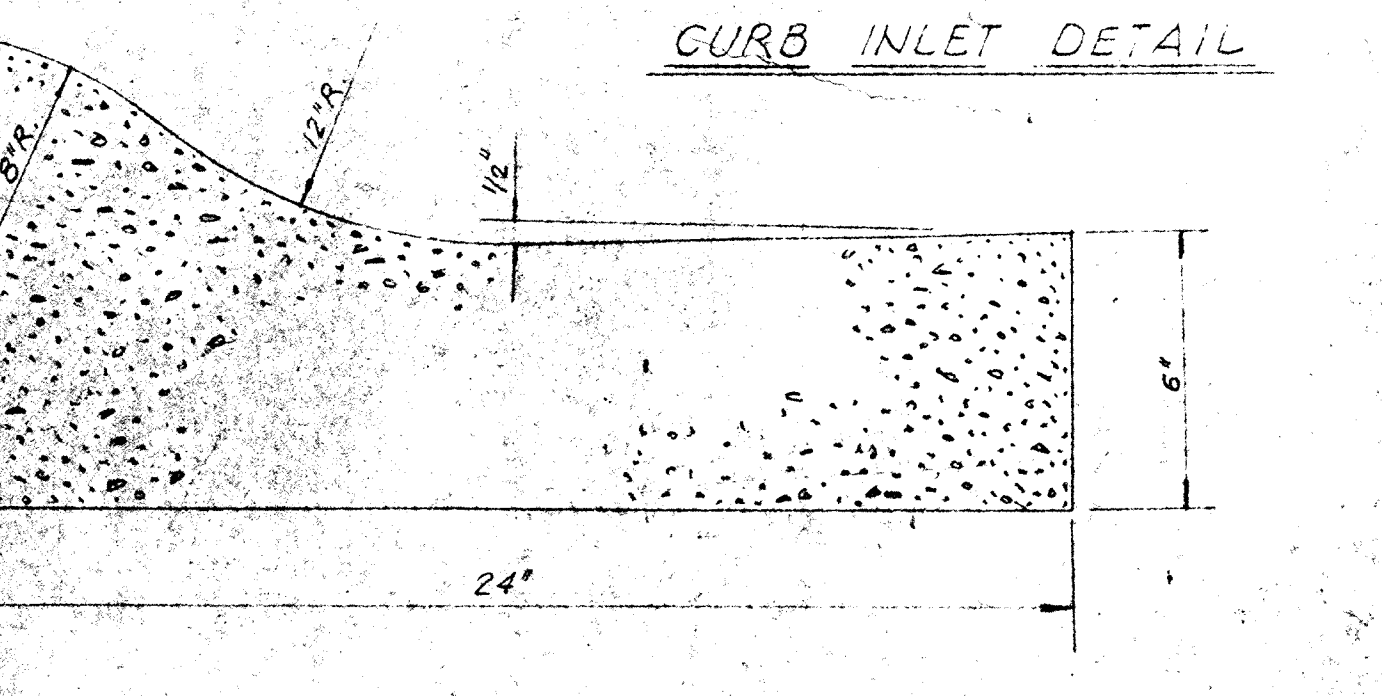
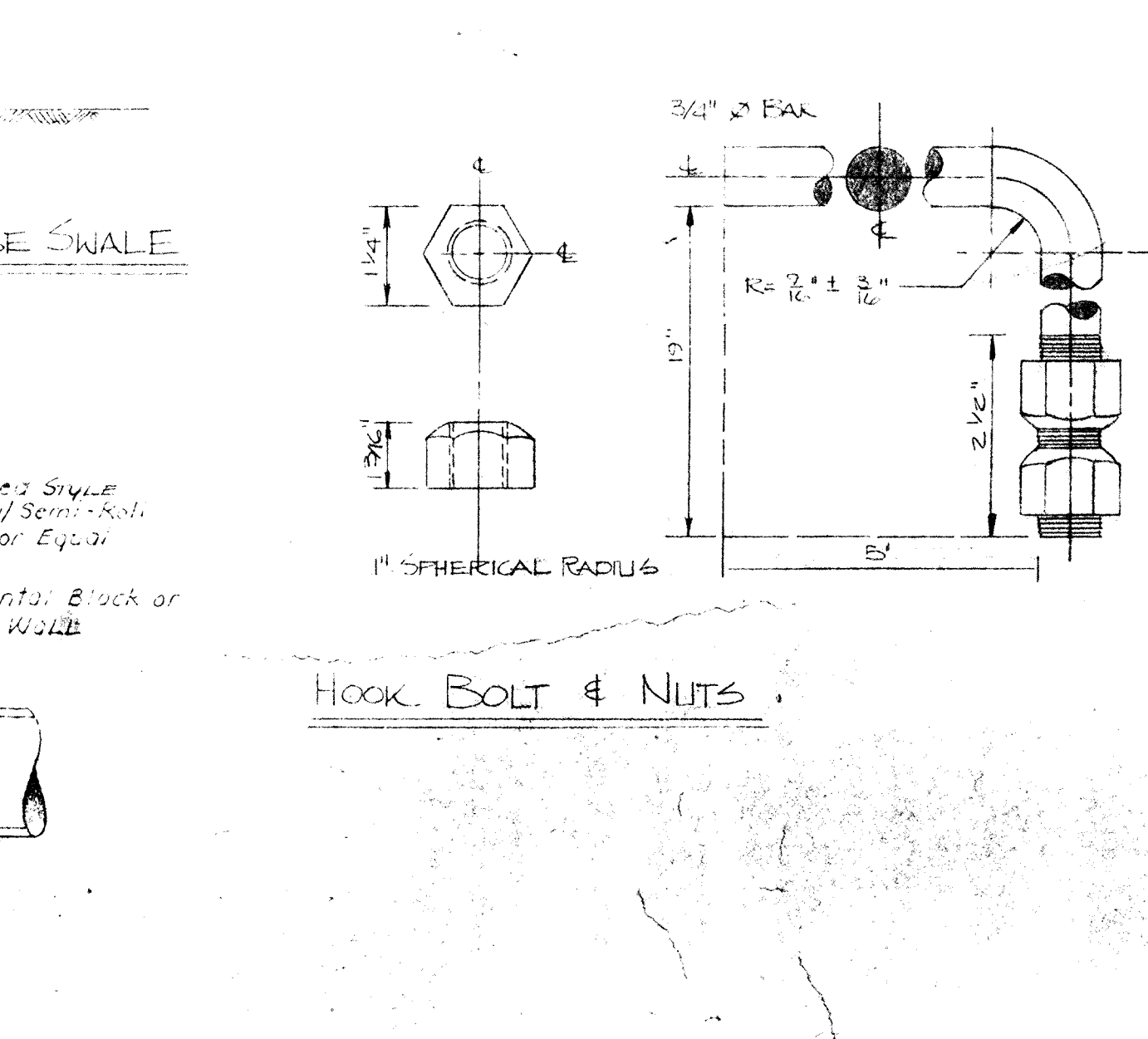
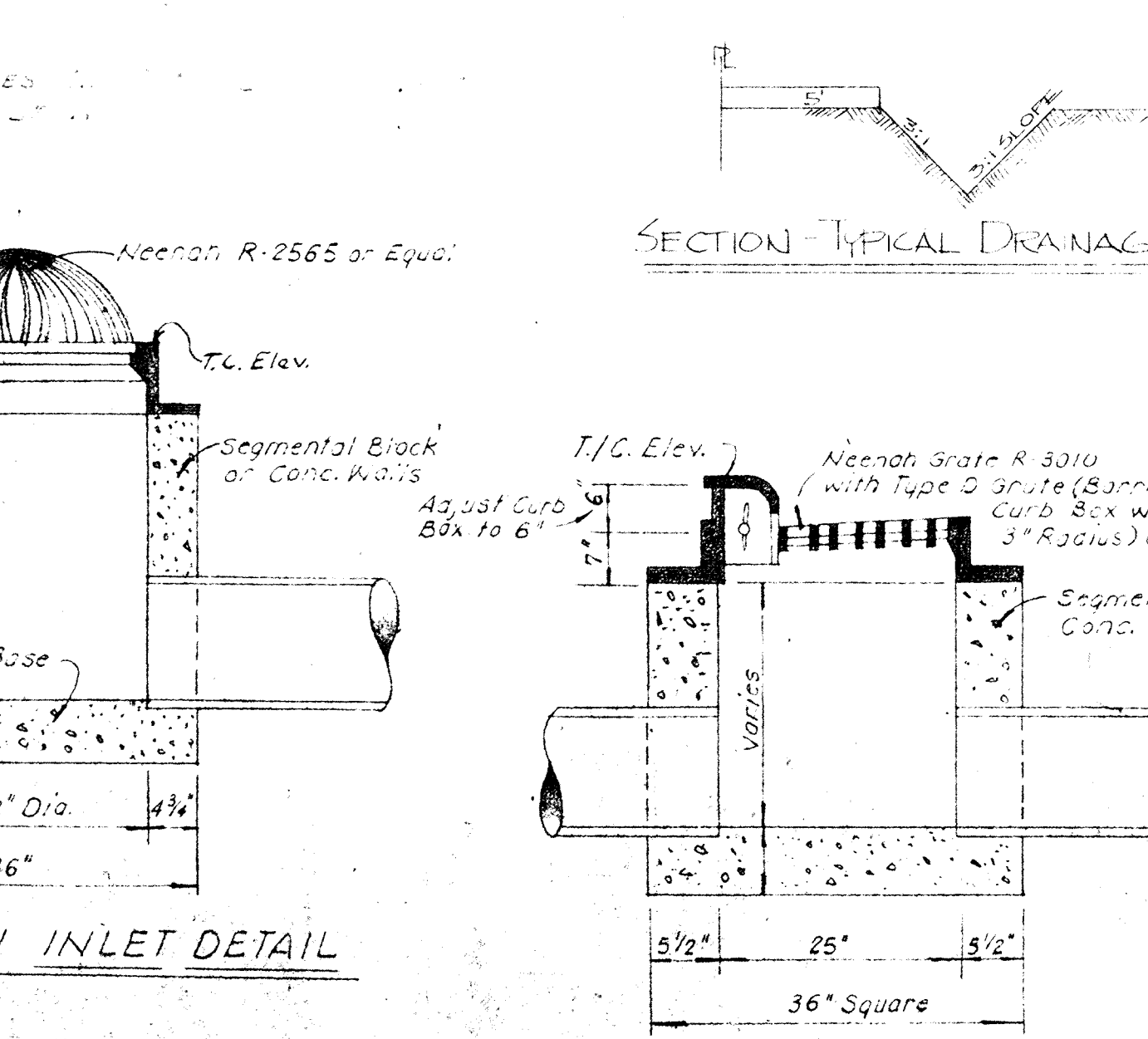
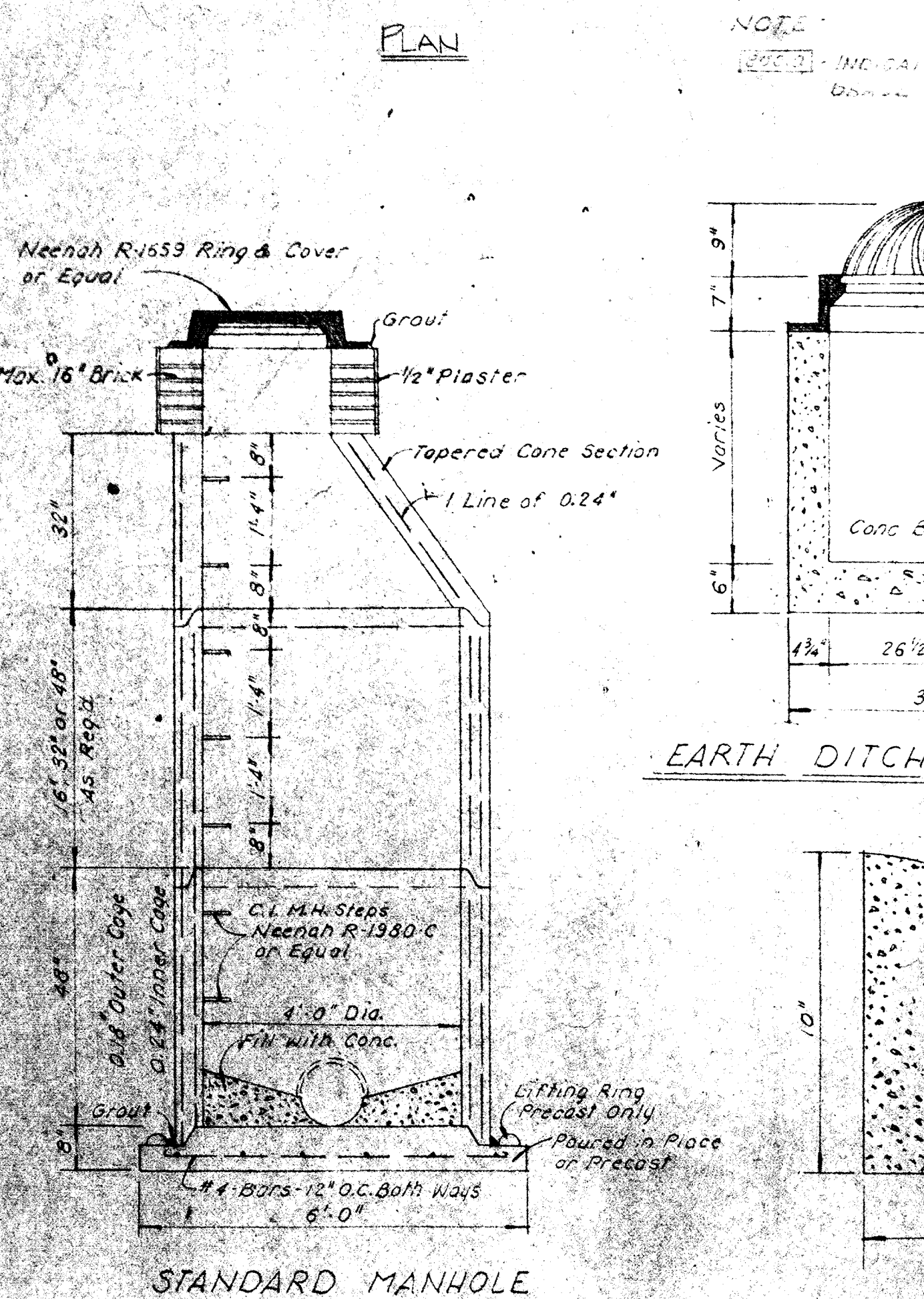
PIPE SIZE	6"	8"	10"	12"	15"
'W'	18"	24"	24"	30"	36"

NOTE: 'W' FOR 8" AND 10" PIPE MAY BE INCREASED TO 30" WHERE TRENCH DEPTH 'E' EXCEEDS 12' AND E.S.V.C.P. IS SPECIFIED.

NOTE: RIP RAP TO BE LAID WITHIN 1' OF TOP OF 3:1 SLOPE. RIP RAP TO BE 12" THICK MIN. (HAND LAID)

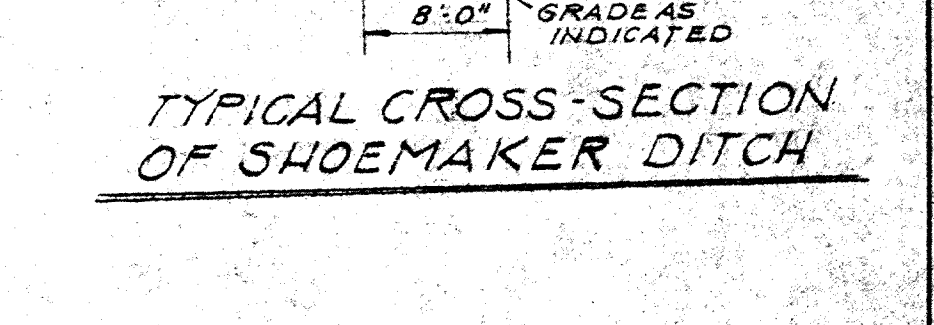


NOTE: TOE WALL TO BE CONSTRUCTED IN ALL AREAS EXCEPT AREA OF PIPE ANCHORS.

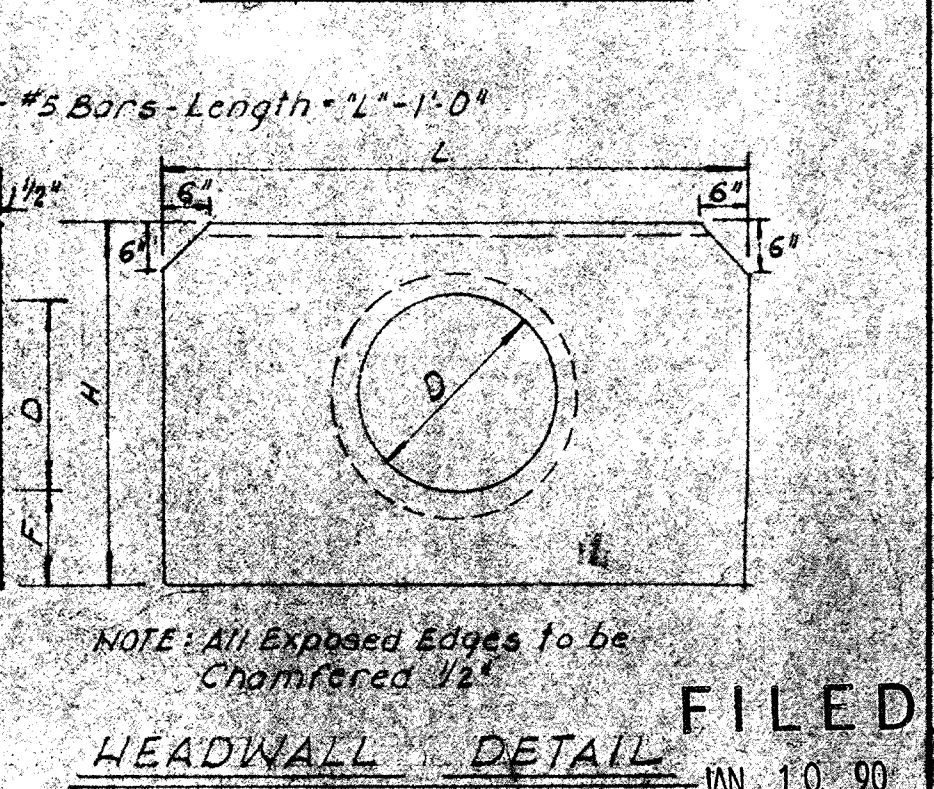


SPECIFICATION FOR HOOK BOLT & NUT
 HOOK BOLT MATERIAL SHALL MEET THE CURRENT A.S.T.M. A-307. THREADS SHALL BE AMERICAN STANDARD COARSE THREAD SERIES, CLASS 2, FREE FIT. BOLTS SHALL BE GALVANIZED TO CURRENT A.S.T.M. SPECIFICATION A-157. THE THREADED PORTION SHALL NOT PREVENT TURNING THE NUT BY HAND.

NOTE: BANKS TO BE SEEDED WITH MIXTURE OF ONE (1) PART RYE AND TWO (2) PARTS CREEPING FESCUE AT THE RATE OF 50 LBS. PER ACRE. FERTILIZE WITH 12-12-12 AT THE RATE OF 500 LBS. PER ACRE.



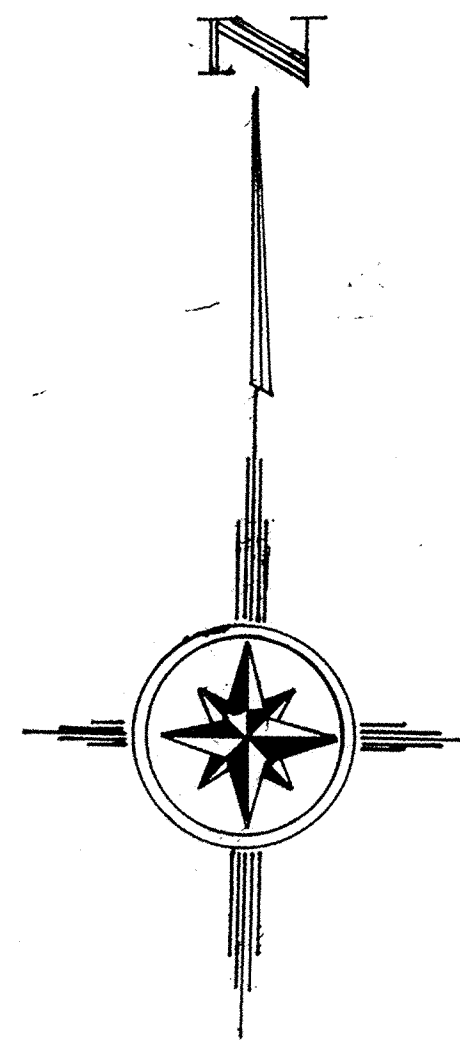
DIMENSION SCHEDULE				
D	F	H	W	L
12"	1'-0"	2'-8"	9"	4'-0"
15"	1'-0"	3'-0"	9"	4'-3"
18"	1'-0"	3'-3"	9"	4'-6"
21"	1'-0"	3'-6"	9"	5'-3"
24"	1'-0"	3'-9"	9"	6'-0"
30"	1'-6"	5'-9"	1'-0"	7'-0"



NOTE: ALL EXPOSED EDGES TO BE CHAMFERED 1/2".

WEIHE ENGINEERS, INC. LAND SURVEYORS
 CIVIL ENGINEERS
 1000 NORTH COLLEGE AVE. INDIANAPOLIS, INDIANA 46202
 AREA CODE 317-884-8877
 DATE: _____
 REVISIONS: _____
 SHEET NO. _____
 OFFICE OF HAMILTON COUNTY SURVEYOR
 BY: _____
 FILED
 JAN 10 90
 COTTINGHAM ESTATES
 7 FOURTH SECTION
 NOBLESVILLE, INDIANA

R5



1" = 100'

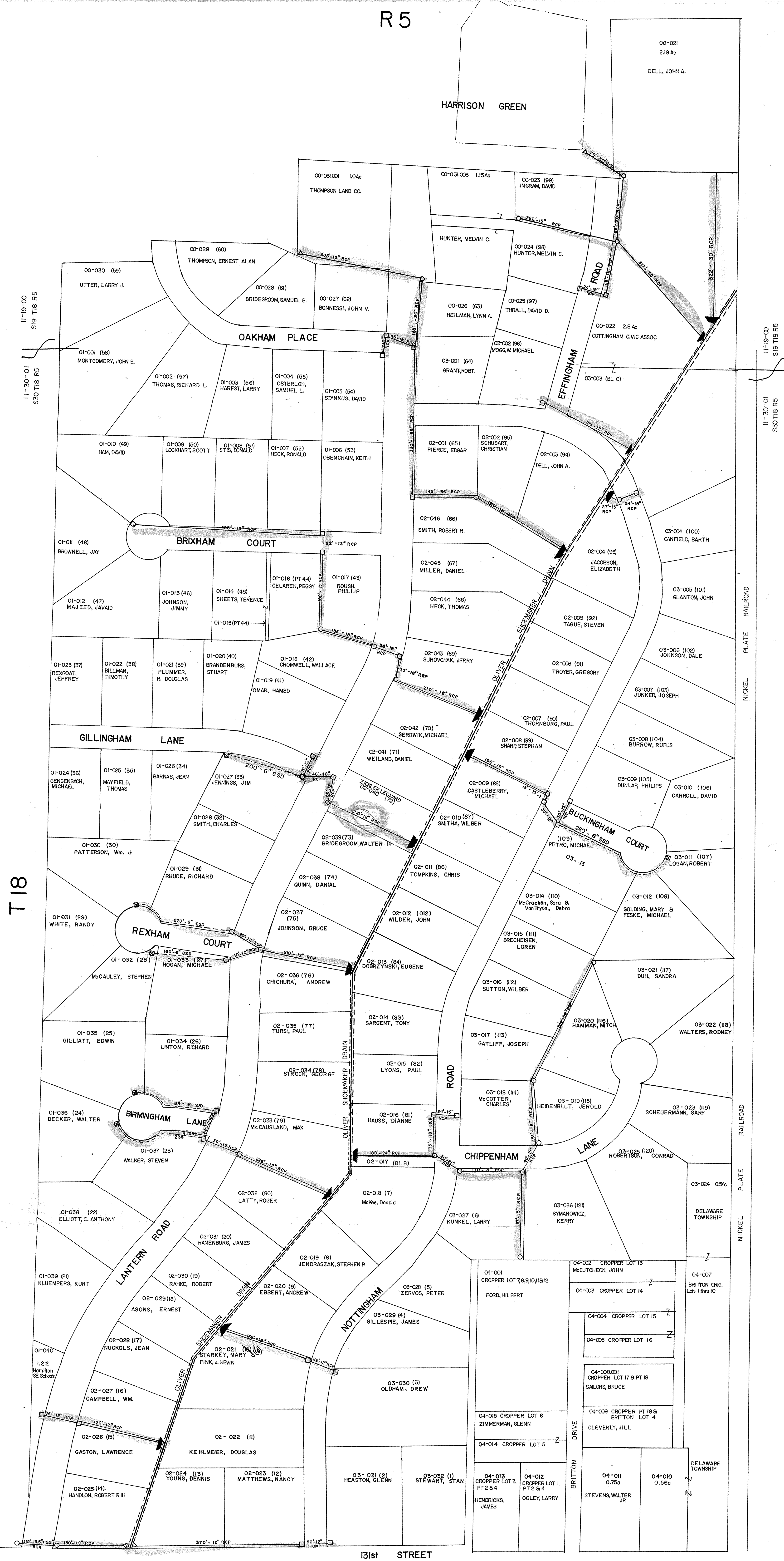
LEGEND
 OPEN DRAIN
 TILE DRAIN
 STRUCTURE
 RISER
 MANHOLE
 UNDER DRAIN

PREPARED BY:
 JANET HANSEN
 JEREMY L. HARTMAN
 APPROVED BY:
 KENTON C. WARD
 HAMILTON COUNTY
 SURVEYOR

Cottingham Estates Drain consist of the storm sewer drains within Cottingham Estates outfalling into the Oliver Shoemaker Drain.

DRAINAGE EASEMENT:
 STORM SEWER - 15' BOTH SIDES - PER CENTERLINE OF TILE

OPEN DITCH - 75' TOP OF BANK

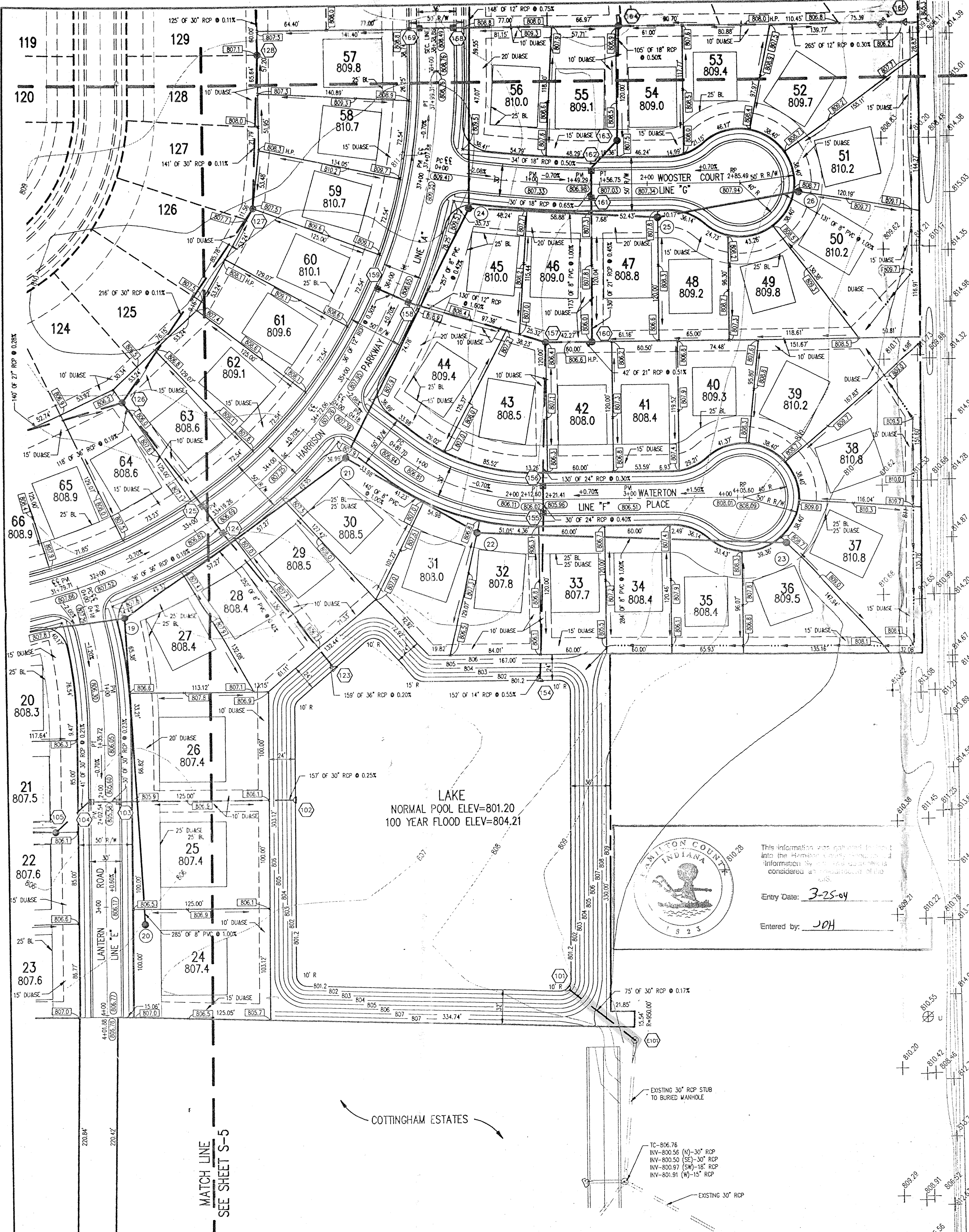


T18

COTTINGHAM ESTATES DRAIN
 DELAWARE TOWNSHIP

1" = 100'

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MATCH LINE
SEE SHEET S-6

- LEGEND**
- Existing Storm Sewer
 - New Storm Sewer
 - Existing Sanitary Sewer
 - New Sanitary Sewer
 - Subsurface Drain
 - Existing Contour
 - Existing Elevation
 - New Pavement Elevations
 - All Other Finish Elevations
 - Corrected Elevations
 - Storm Structure Number
 - Sanitary Structure Number
 - Flow Arrow
 - Meet Existing Elevation
 - Denotes Pod Elevation and Approximate Pod Size

HOLEY MOLEY SAYS
"DON'T DIG BLIND"

1-800-382-5544
 CALL TOLL FREE
1-800-428-8200
 FOR CALLS OUTSIDE OF INDIANA

ASSUMED NORTH SCALE: 1"=50'

BENCH MARK
 T.B.M. R.R. SPIKE IN 30' SYCAMORE ON SOUTH SIDE OF 131 ST STREET @ THE N.W. CORNER OF LANTERN FARMS SUBDIVISION.
 ELEV=802.35
 T.B.M. 1 BOAT SPIKE 1' ABOVE GROUND NORTH SIDE P.W.P. (No. 1) AT S.W. CORNER OF HARRISON PARK SECTION 1, 7' NORTH OF SOUTH PL 20' EAST OF EAST EDGE OF ALLISONVILLE ROAD ± 200' SOUTH OF CENTERLINE OF HARRISON PARKWAY.
 ELEV=799.48

STORM SEWER TABLE

STR #	STA BASELINE	OFFSET LT/RT	TYPE	TC	INVERTS
101	3+79.75 "E"	426.25' LT	END SECTION	810.50	801.07 (NW), EXIST-801.06 (S)
102	2+02.54 "E"	172.03' LT	END SECTION		800.83
103	2+02.54 "E"	15.00' LT	CURB INLET	805.58	801.22 (EAW)
104	2+02.54 "E"	15.00' RT	CURB INLET	805.58	801.29 (SWAC)
105	2+30.19 "E"	45.00' RT	STORM MANHOLE	806.50	801.38 (NEAW)
106	2+24.47 "E"	142.64' RT	BEDVIE INLET	805.40	802.87 (N), 802.80 (S), 801.59 (W), 801.59 (E)
107	3+04.47 "E"	142.64' RT	END SECTION		804.80
108	3+04.47 "E"	18.00' RT	CURB INLET	806.91	804.30 (NWS)
109	3+04.47 "E"	18.00' LT	CURB INLET	806.91	804.41 (S)
110	1+89.05 "B"	15.00' LT	CURB INLET	806.69	803.96 (SW), 802.35 (W), 802.15 (E)
111	4+00.00 "B"	15.00' RT	CURB INLET	807.96	805.34 (SE), 805.14 (NE)
112	4+00.00 "B"	15.00' LT	CURB INLET	807.96	805.48 (NW)
113	1+89.05 "B"	15.00' RT	CURB INLET	806.69	802.45 (NWS)
113A	1+50.00 "B"	45.41' RT	STORM MANHOLE	808.00	802.59 (NWS)
114	2+27.51 "A"	150.00' RT	BEDVIE INLET	806.50	804.26 (SW), 803.25 (NWS)
115	2+27.51 "A"	247.01' RT	END SECTION		804.80
116	2+27.51 "A"	33.00' RT	STORM MANHOLE	807.50	803.68 (W), 803.52 (N), 803.48 (S)
117	2+27.51 "A"	18.00' RT	CURB INLET	806.41	803.80 (N), 803.60 (S)
118	2+27.51 "A"	18.00' LT	CURB INLET	806.41	803.91 (S)
119	2+40.00 "A"	40.00' RT	STORM MANHOLE	807.80	804.27 (N), 804.07 (E)
120	2+40.00 "A"	18.00' RT	CURB INLET	807.78	804.36 (NWS)
121	2+40.00 "A"	18.00' LT	CURB INLET	807.78	804.49 (NWS)
122	2+40.00 "A"	48.00' LT	END SECTION		804.58
123	3+25.12 "A"	177.25' RT	END SECTION		800.88
124	3+31.26 "A"	18.00' RT	CURB INLET	806.69	801.20 (SEAW)
125	3+31.26 "A"	18.00' LT	CURB INLET	806.69	801.27 (SEAW)
126	3+31.26 "A"	135.40' LT	BEDVIE INLET	806.00	801.82 (NE), 801.65 (SW), 801.40 (SE)
127	3+18.96 "A"	150.00' LT	BEDVIE INLET	807.50	802.06 (NWS)
128	3+18.96 "A"	166.40' LT	BEDVIE INLET	807.10	802.22 (NWS)
129	3+43.33 "A"	169.59' LT	TEMPORARY END SECTION		802.36
137	1+60.00 "C"	178.00' RT	BEDVIE INLET	806.00	802.54 (W), 802.24 (NW), 802.04 (NE)
138	1+52.24 "D"	15.00' RT	CURB INLET	806.37	802.70 (NW), 802.50 (SE)
139	1+52.24 "D"	15.00' LT	CURB INLET	806.37	802.80 (NWS)
140	3+97.03 "C"	15.00' LT	BEDVIE INLET	806.00	803.23 (W), 803.03 (S)
141	3+97.03 "C"	15.00' RT	CURB INLET	806.97	803.90 (NWS)
142	3+97.03 "C"	15.00' LT	CURB INLET	806.97	804.00 (NWS)
143	3+99.03 "C"	15.00' LT	BEDVIE INLET	807.30	804.52 (N), 804.32 (E)
144	4+74.00 "C"	15.00' LT	BEDVIE INLET	808.10	804.74 (NWS)
145	4+35.65 "J"	15.00' LT	CURB INLET	809.41	805.33 (NW), 805.13 (E)
146	3+92.82 "J"	15.00' RT	CURB INLET	809.66	805.64 (NWS)
147	3+92.82 "J"	138.00' RT	END SECTION		806.01
148	1+59.00 "C"	15.00' RT	CURB INLET	806.73	803.13 (W), 802.88 (E)
149	1+59.00 "C"	15.00' LT	CURB INLET	806.73	803.25 (NWS)
150	1+59.00 "C"	15.00' LT	BEDVIE INLET	807.00	803.65 (NWS)
151	2+47.49 "A"	173.86' LT	CURB INLET	807.20	804.13 (W), 803.88 (E)
152	2+47.49 "A"	173.86' LT	CURB INLET	807.20	804.55 (SW), 804.29 (E)
153	2+47.49 "A"	116.41' LT	END SECTION		806.04
154	2+16.20 "I"	167.00' RT	END SECTION		800.38
155	2+21.41 "I"	15.00' RT	CURB INLET	805.96	801.22 (NWS)
156	2+21.41 "I"	15.00' LT	CURB INLET	805.96	801.34 (NWS)
157	2+25.86 "I"	145.00' LT	BEDVIE INLET	806.40	803.81 (NW), 801.93 (E), 801.73 (S)
158	3+18.96 "A"	18.00' RT	CURB INLET	806.56	805.89 (NWS)
159	3+18.96 "A"	18.00' LT	CURB INLET	806.56	806.00 (SE)
160	2+68.13 "I"	145.00' LT	BEDVIE INLET	806.00	802.14 (NWS)
161	1+49.29 "G"	15.00' RT	CURB INLET	806.88	802.92 (N), 802.72 (S)
162	1+49.29 "G"	15.00' LT	CURB INLET	806.88	803.11 (NWS)
163	1+73.11 "G"	40.00' LT	STORM MANHOLE	806.00	803.28 (NWS)
164	3+18.96 "A"	166.42' RT	BEDVIE INLET	806.90	804.37 (E), 804.28 (W), 803.80 (S), 804.05 (N) SUB
165	3+18.96 "A"	431.42' RT	END SECTION		805.10
168	3+18.96 "A"	18.00' RT	CURB INLET	806.49	805.39 (NWS)
169	3+18.96 "A"	18.00' LT	CURB INLET	806.49	805.50 (E)

SANITARY SEWER TABLE

STR #	STA BASELINE	OFFSET LT/RT	TYPE	TC	INVERTS
15	---	---	EXISTING MANHOLE	EX-807.28	789.95 (E), EXIST-789.85 (NW), EXIST-789.55 (NE), 789.53 (SW)
1	2+34.53 "A"	41.01' LT	MANHOLE	808.70	791.12 (E), 791.02 (W)
2	2+54.63 "A"	36.64' LT	MANHOLE	807.90	793.63 (NE), 791.83 (E), 791.73 (W)
3	2+54.63 "A"	140.86' LT	MANHOLE	808.00	798.64 (N), 788.54 (SW)
4	6+32.82 "J"	30.00' RT	MANHOLE	809.00	800.11 (N), 800.01 (S)
5	3+44.62 "J"	35.00' RT	MANHOLE	810.40	803.17 (NE), 803.07 (S)
6	2+47.60 "I"	29.00' RT	MANHOLE	811.20	804.33 (SW)
7	2+47.60 "I"	30.40' LT	MANHOLE	808.50	792.91 (N), 792.81 (SE), 792.71 (W)
8	2+55.03 "C"	30.00' LT	MANHOLE	808.20	795.82 (E), 794.02 (N), 793.72 (S)
9	2+74.30 "C"	213.71' RT	MANHOLE	807.60	798.26 (W), 798.36 (NE) SUB
12	0+27.96 "J"	31.00' RT	MANHOLE	811.50	797.97 (W), 796.17 (E), 796.07 (S)
13	1+72.36 "J"	29.00' RT	MANHOLE	811.50	803.22 (E)
14	4+67.04 "H"	30.00' LT	MANHOLE	807.90	801.12 (W)
15	0+42.00 "B"	30.00' LT	MANHOLE	808.30	795.13 (S), 793.33 (E), 793.23 (NW)
16	2+54.67 "B"	33.00' LT	MANHOLE	807.80	796.72 (SW), 798.82 (N)
17	3+83.15 "B"	37.00' LT	MANHOLE	808.70	800.35 (SW), 800.25 (NE)
18	5+98.65 "B"	58.00' LT	MANHOLE	809.70	802.71 (NE)
19	0+38.22 "E"	32.00' LT	MANHOLE	806.00	794.72 (S), 794.62 (NE), 794.52 (SW)
20	3+16.54 "E"	36.00' LT	MANHOLE	807.10	797.57 (N)
21	4+11.05 "I"	32.00' RT	MANHOLE	808.40	797.58 (SE), 795.78 (NE), 795.68 (SW)
22	1+67.22 "I"	36.00' RT	MANHOLE	807.30	799.08 (E), 798.98 (NW)
23	4+43.74 "I"	42.35' RT	MANHOLE	809.00	801.92 (W)
24	0+39.94 "G"	29.00' RT	MANHOLE	809.60	798.76 (E), 796.96 (N), 796.86 (SW)
25	2+09.18 "C"	31.00' RT	MANHOLE	808.30	800.59 (NE), 800.49 (W)
26	3+38.75 "C"	8.91' RT	MANHOLE	809.20	801.50 (E)
27	3+16.33 "A"	32.00' RT	MANHOLE	809.90	798.11 (S), 798.21 (NWS) SUB

JUN 10 1993

REVISIONS

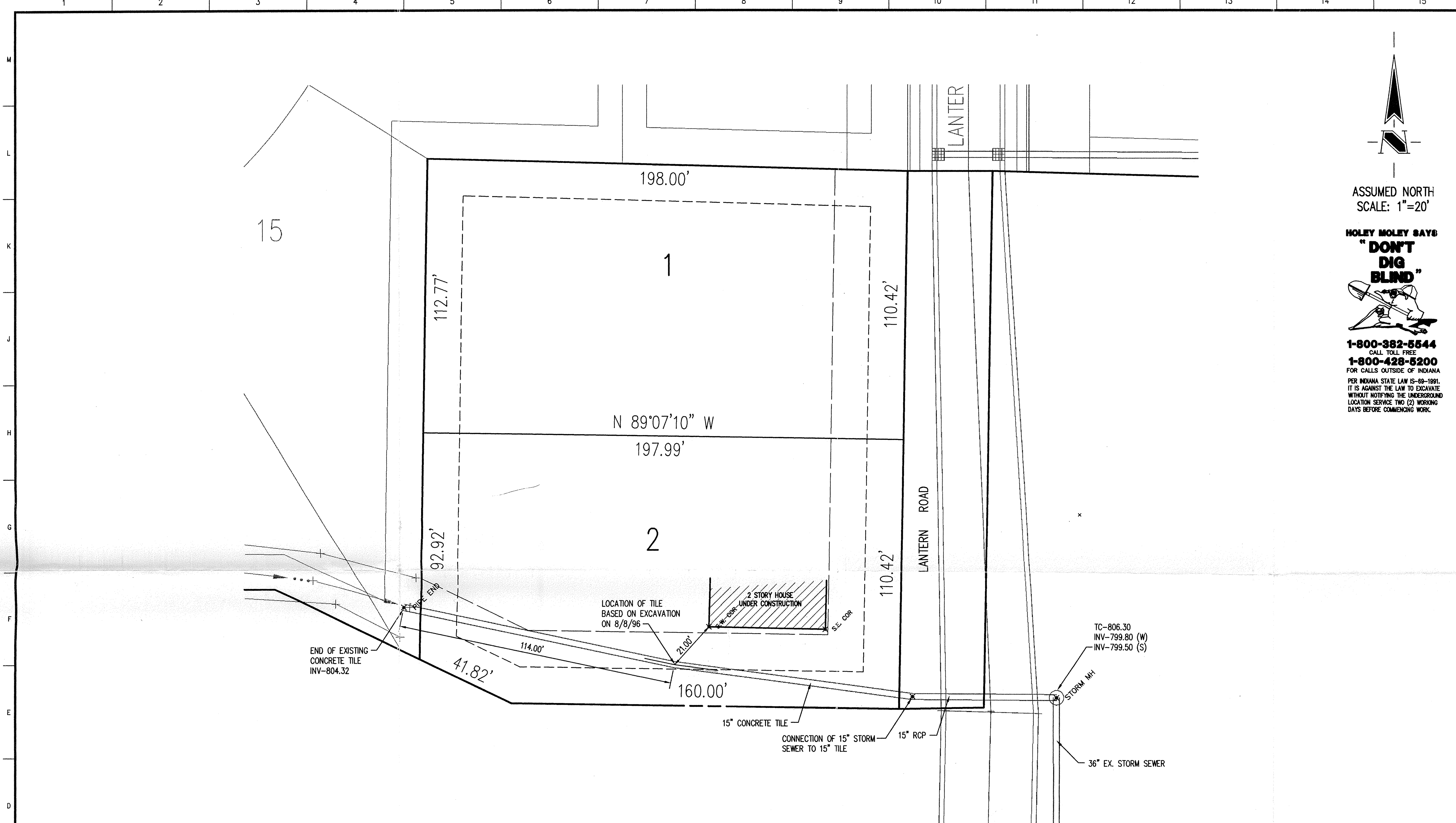
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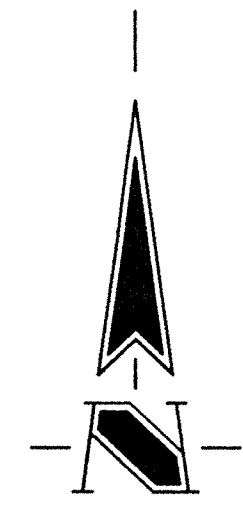
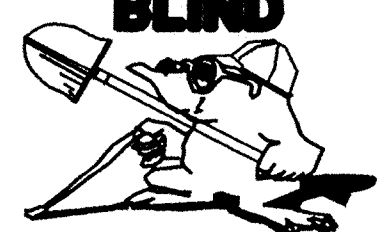
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 Professional Engineers
 Land Surveyors
 3020 NORTH POST ROAD
 INDIANAPOLIS, INDIANA 46226-6518
 Telephone (317) 898-8282
 Fax (317) 898-8010

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 DEVELOPMENT PLAN
 SHEET S-7 OF 28
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 ASSUMED NORTH
 SCALE: 1"=20'
HOLEY MOLEY SAYS
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 FOR CALLS OUTSIDE OF INDIANA
 PER INDIANA STATE LAW IS-69-1991,
 IT IS AGAINST THE LAW TO EXCAVATE
 WITHOUT NOTIFYING THE UNDERGROUND
 LOCATION SERVICE TWO (2) WORKING
 DAYS BEFORE COMMENCING WORK.

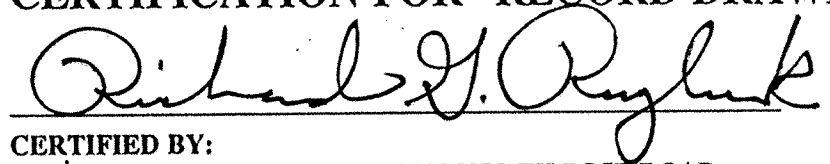

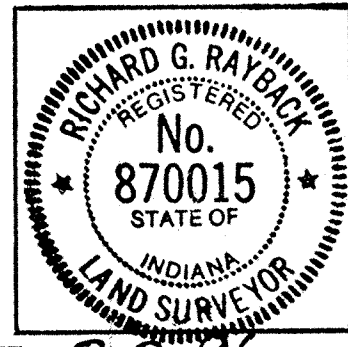
BENCH MARK
 T.B.M. R.R. SPIKE IN 30" SYCAMORE ON SOUTH SIDE OF 131 ST STREET @ THE N.W. CORNER OF LANTERN FARMS SUBDIVISION. (NGVD 1929)
 ELEV=802.35
 T.B.M. 1 BOAT SPIKE 1' ABOVE GROUND NORTH SIDE P.W.P. (No. #) AT S.W. CORNER OF HARRISON PARK SECTION 1, 7' NORTH OF SOUTH PL 20' EAST OF EAST EDGE OF ALLISONVILLE ROAD ± 200' SOUTH OF CENTERLINE OF HARRISON PARKWAY. (NGVD 1929)
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Revisions

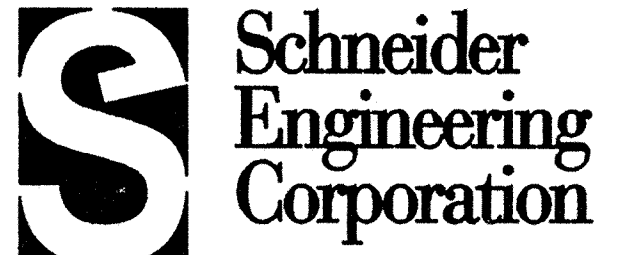
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 Entered by: JPH

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 OFFICE OF HAMILTON COUNTY SURVEYOR

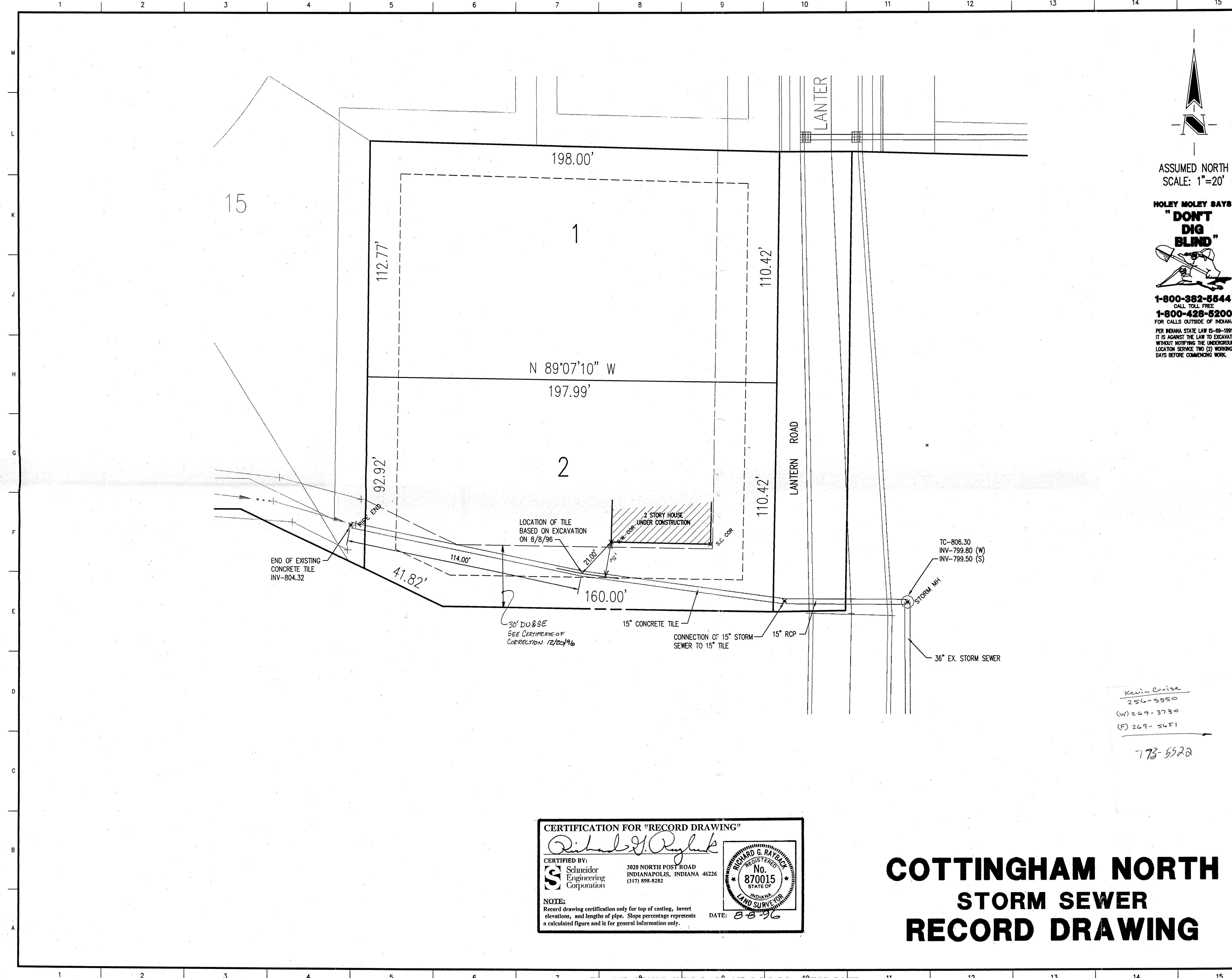
CERTIFICATION FOR "RECORD DRAWING"

 CERTIFIED BY:
 Schneider Engineering Corporation 3020 NORTH POST ROAD INDIANAPOLIS, INDIANA 46226 (317) 898-8282

 NOTE: Record drawing certification only for top of casting, invert elevations, and lengths of pipe. Slope percentage represents a calculated figure and is for general information only. DATE: 8-8-96

COTTINGHAM NORTH STORM SEWER RECORD DRAWING


 3020 North Post Road Indianapolis, Indiana 46226-0068 317-898-8282 317-899-8010 Fax
 Engineering Surveying Landscape Architecture GIS • LIS Geology
 A Partnered Entity with Bohlen, Meyer, Gibson & Associates, Incorporated
 THOMPSON LAND COMPANY, INC. COTTINGHAM NORTH FISHERS, INDIANA
DEVELOPMENT PLAN STORM SEWER RECORD DRAWING

Date	Project No.	Drawn	Approv.
8/8/96	709.63	PRC	
Computer Files		Sheet No.	
& \709\DWG\63\ASBLT\63-ASBLT XREF: & \709\DWG\63\70963PL XREF: & \709\DWG\62\70962XS		C101	

19 JUNG'S 63\ASBLT\63-ASBLT Thu Aug 08 15:36:33 1996



ASSUMED NORTH
SCALE: 1"=20'

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DIG
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FARMS SUBDIVISION. (NGVD 1929)
ELEV=802.35

T.B.M. 1 BOAT SPIKE 1' ABOVE GROUND NORTH SIDE
P.W.P. (No. #) AT S.W. CORNER OF HARRISON
PARK SECTION 1, 7' NORTH OF SOUTH PL
20' EAST OF EAST EDGE OF ALLISONVILLE
ROAD ± 200' SOUTH OF CENTERLINE OF
HARRISON PARKWAY. (NGVD 1929)
ELEV=799.48

Revisions

CERTIFIED BY _____

THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED
HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF SCHNEIDER
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Indianapolis, Indiana 46228-0068
317-898-8282
317-899-8010 Fax

Engineering
Surveying
Landscape Architecture
GIS • LIS
Geology

A Partnered Entity with Bohlen, Meyer, Gibson & Associates, Incorporated

THOMPSON LAND COMPANY, INC.
COTTINGHAM NORTH
FISHERS, INDIANA

**DEVELOPMENT PLAN
STORM SEWER RECORD DRAWING**

Date 8/8/96	Project No. 709.63	Drawn PRC	Approv.
Computer Files J:\709\DWG\AS\ASBULT\63-ASBLT J:\709\DWG\AS\ASBULT\63-ASBLT J:\709\DWG\AS\ASBULT\63-ASBLT		Sheet No. C101	

CERTIFICATION FOR "RECORD DRAWING"

Richard G. Raybick

CERTIFIED BY:
S Schneider Engineering Corporation
3020 NORTH POST ROAD
INDIANAPOLIS, INDIANA 46228
(317) 898-8282

RICHARD G. RAYBICK
REGISTERED
No. 870015
STATE OF INDIANA
LAND SURVEYOR

NOTE:
Record drawing certification only for top of casting, invert elevations, and lengths of pipe. Slope percentage represents a calculated figure and is for general information only.

DATE: 8-8-96

**COTTINGHAM NORTH
STORM SEWER
RECORD DRAWING**

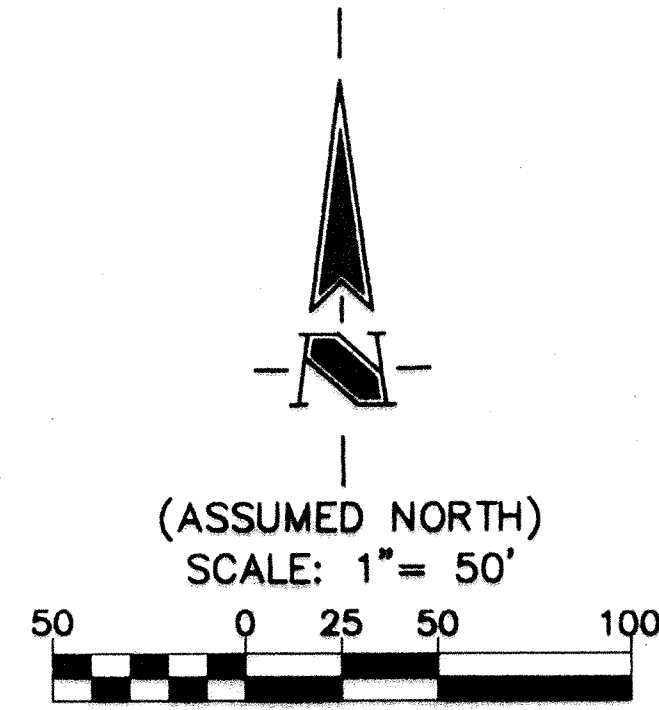
J:\709\DWG\AS\ASBULT\63-ASBLT Thu Aug 08 15:36:33 1996

COTTINGHAM NORTH

SECONDARY PLAT

PART OF THE S.W.1/4 SECTION 19-T18N-R5E
HAMILTON COUNTY, INDIANA

- LEGEND**
- — INDICATES 5/8" REBAR W/CAP
 - B.L. — BUILDING LINE
 - SF — SQUARE FOOTAGE
 - D. & U.E. — DRAINAGE AND UTILITY EASEMENT
 - D.U. & S.E. — DRAINAGE UTILITY AND SEWER EASEMENT
 - D.E. — DRAINAGE EASEMENT



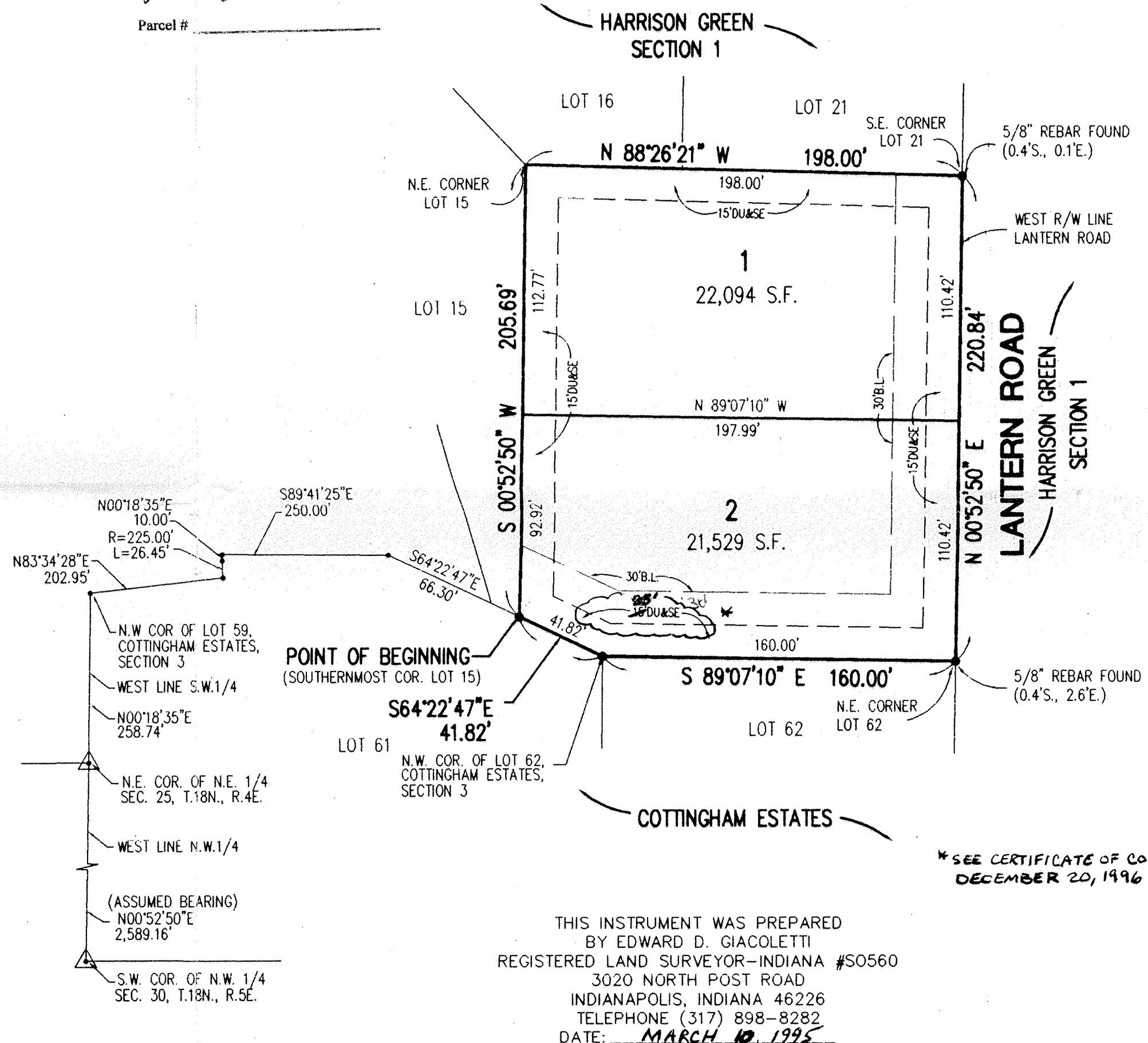
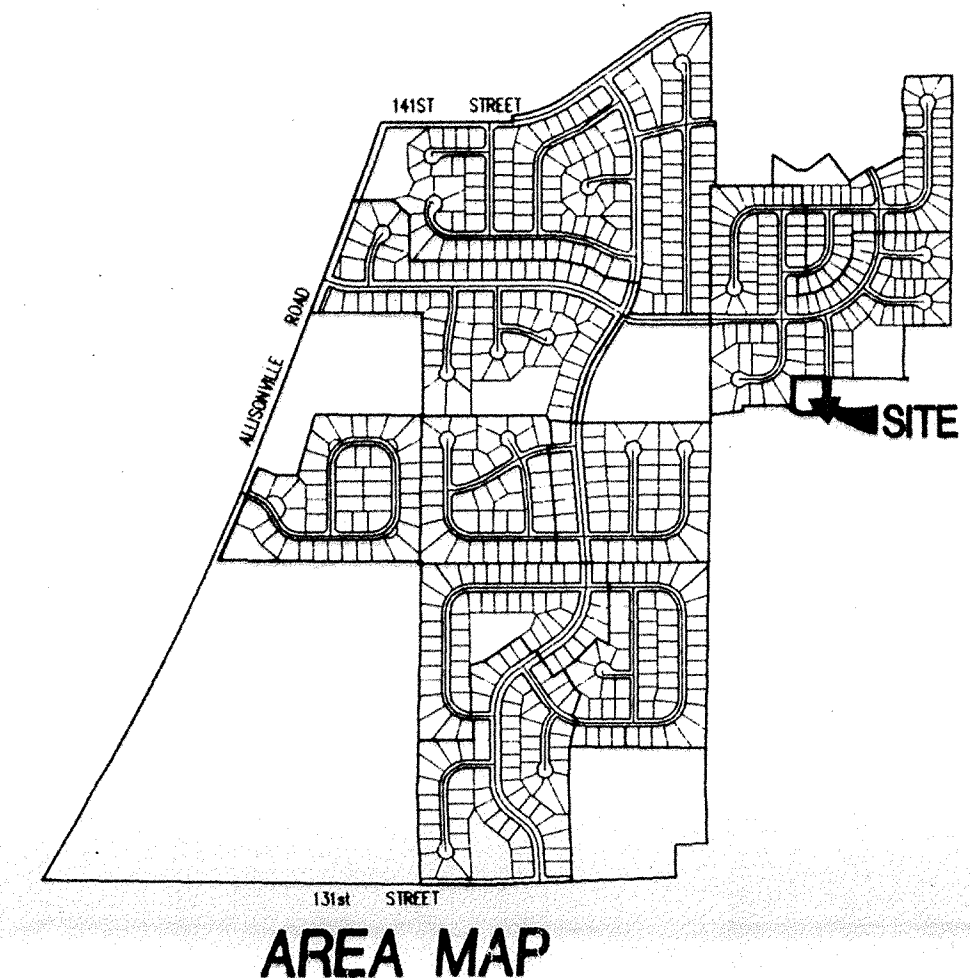
OWNER/SUBDIVIDER
THOMPSON LAND COMPANY, INC.
11911 LAKESIDE DRIVE
FISHERS, INDIANA 46038
(317) 849-7807

SURVEYOR
SCHNEIDER ENGINEERING CORP.
3020 NORTH POST RD.
INDIANAPOLIS, IN. 46226
(317) 898-8282

COMMISSION CERTIFICATE:
UNDER AUTHORITY PROVIDED BY TITLE 36, ACTS OF 1981, P.L. 309 ENACTED BY THE GENERAL ASSEMBLY OF THE STATE OF INDIANA, AND ALL ACTS AMENDATORY THERETO AND AN ORDINANCE ADOPTED BY THE TOWN OF FISHERS AS FOLLOWS:
ADOPTED BY THE TOWN PLAN COMMISSION AT A MEETING HELD _____
FISHERS TOWN PLAN COMMISSION
PRESIDENT JOHN D. ZERBO
SECRETARY WES BUCHER

THE STREETS, TOGETHER WITH ALL EXISTING AND FUTURE PLANTING, TREES AND SHRUBBERY THEREON, AS SHOWN ON THE ATTACHED PLAT ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES, RESERVING TO THE DEDICATORS, THEIR SUCCESSORS OR ASSIGNS THE REVERSION OR REVERSIONS THEREOF, WHENEVER DISCONTINUED BY LAW.

DULY ENTERED FOR TAXATION
Subject to final acceptance for transfer
6 day of April 1995
John M. Ogle Auditor
Hamilton County
Parcel # _____



THIS INSTRUMENT WAS PREPARED BY EDWARD D. GIACOLETTI REGISTERED LAND SURVEYOR-INDIANA #S0560 3020 NORTH POST ROAD INDIANAPOLIS, INDIANA 46226 TELEPHONE (317) 898-8282 DATE: MARCH 10, 1995

* SEE CERTIFICATE OF CORRECTION DECEMBER 20, 1996

11:30 AM.
RECEIVED
MAY 10 1995
MARY L. CLARK
HAMILTON COUNTY RECORDER
Instrument No. 9510892
P.C. No. 1 Slide No. 537

COTTINGHAM NORTH

SECONDARY PLAT

PART OF THE S.W.1/4 SECTION 19-T18N-R5E
HAMILTON COUNTY, INDIANA

LAND DESCRIPTION

Part of the Southwest Quarter of Section 19, Township 18 North, Range 5 East in Hamilton County, Indiana, more particularly described as follows:

Beginning at the southernmost corner of Lot 15 in Harrison Green Section 1, a subdivision in Hamilton County, Indiana, the plat of which is recorded as Instrument Number 93-48795 in the Office of the Recorder of Hamilton County, Indiana, said point also being on the north line of Lot 61 in Cottingham Estates - Section 3, the plat of which is recorded in Plat Book 4, pages 66 and 67 in the Office of the Recorder of Hamilton County, Indiana; thence South 64 degrees 22 minutes 47 seconds East along said north line of Lot 61 a distance of 41.82 feet to the northwest corner of Lot 62 in said Cottingham Estates Section 3; thence South 89 degrees 07 minutes 10 seconds East along the north line of said Lot 62 a distance of 160.00 feet to the northeast corner of said Lot 62; thence North 00 degrees 52 minutes 50 seconds East along the west right-of-way line of Lantern Road in said Harrison Green Section 1 a distance of 220.84 feet to the southeast corner of Lot 21 in said Harrison Green Section 1; thence North 88 degrees 26 minutes 21 seconds West along the south line of said Lot 21 and along the south line of Lot 16 in said Harrison Green Section 1 a distance of 198.00 feet to the northeast corner of Lot 15 in said Harrison Green Section 1; thence South 00 degrees 52 minutes 50 seconds West along the east line of said Lot 15 a distance of 205.69 feet to the Point of Beginning, containing 1.00 acres, more or less.

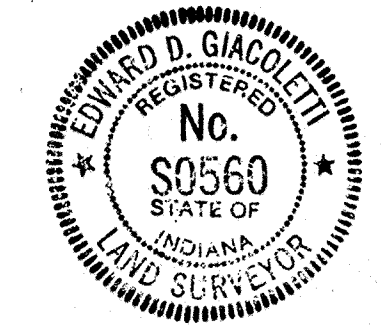
THIS SUBDIVISION CONSISTS OF 2 LOTS NUMBERED 1 AND 2, TOGETHER WITH EASEMENTS AS SHOWN ON THE WITHIN PLAT.

THE SIZE OF LOTS AND WIDTHS OF EASEMENTS ARE SHOWN IN FIGURES DENOTING FEET AND DECIMAL PARTS THEREOF.

CROSS-REFERENCE IS HEREBY MADE TO SURVEY PLAT RECORDED AS INSTRUMENT NUMBER 9363033 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA.

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA AND THAT THE WITHIN PLAT REPRESENTS A SUBDIVISION OF THE LANDS SURVEYED WITHIN THE CROSS REFERENCED SURVEY PLAT, AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THERE HAS BEEN NO CHANGE FROM THE MATTERS OF SURVEY REVEALED BY THE CROSS-REFERENCED SURVEY ON ANY LINES THAT ARE COMMON WITH THE NEW SUBDIVISION. I FURTHER CERTIFY THAT THE SAID SUBDIVISION WAS PLATTED UNDER MY DIRECT SUPERVISION AND CONTROL AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Edward D. Giacoletti
EDWARD D. GIACOLETTI
REGISTERED LAND SURVEYOR 3/10/95
INDIANA - #50560



COMMISSION CERTIFICATE:
UNDER AUTHORITY PROVIDED BY TITLE 36 ACTS OF 1981, P.L. 309 ENACTED BY THE GENERAL ASSEMBLY OF THE STATE OF INDIANA, AND ALL ACTS AMENDATORY THERETO AND AN ORDINANCE ADOPTED BY THE TOWN OF FISHERS AS FOLLOWS:
ADOPTED BY THE TOWN PLAN COMMISSION AT A MEETING HELD _____
FISHERS TOWN PLAN COMMISSION

John D. Zerbo
PRESIDENT JOHN D. ZERBO
Wes Bucher
SECRETARY WES BUCHER

The undersigned, Thompson Land Co., Inc. by Corby D. Thompson, President, and Jeffrey E. Thompson, Secretary, of Hamilton County, in the State of Indiana, being the owners of record of all the within described real estate, do hereby lay off, plat and subdivide into lots and streets and do hereby dedicate for public use any of said streets not previously dedicated, in accordance with the within plat. The following restrictions, limitations and covenants are hereby imposed and shall run with the land contained in said plat.

The within plat shall be known and designated as Cottingham North, a Subdivision in the Town of Fishers, Delaware Township, Hamilton County, in the State of Indiana.

Not more than one building shall be erected or used for residential purposes on any lot in this subdivision.

The area of the main structure, exclusive of one-story open porches and garages, shall be not less than one thousand two hundred (1200) square feet in the case of a one-story structure, not less than one thousand six hundred (1600) square feet in the case of a multiple story structure. All garages shall be attached to the residence dwelling and be a minimum of two car size.

The utility easements shown on the within plat are reserved as an easement for use by the city or county in which this subdivision is located, owners in this subdivision and public utility companies for the installation, use, maintenance, repair and removal of sewers, water mains, utility poles, wire and other facilities and utilities necessary or incidental to the common welfare and use and occupancy for residential purposes of the houses to be erected in this subdivision. No building or other structure, except walks or driveways, shall be erected or maintained upon, over, under or across any such utility easement for any use except as set forth herein. The owners in this subdivision shall take their title to the land contained in such utility easement subject to the perpetual easement herein reserved.

The drainage easements shown on the within plat are reserved for the drainage of storm water, whether by swale, ditch or storm sewer. No structure other than storm water drainage structures, retaining walls, or elevated walks and driveways shall be erected in, on, over, under or across any such easement except that a drainage easement may also be used as a utility easement, and structures permitted in a utility easement may be erected therein, provided that they do not interfere with the flow of water. The owners in this subdivision shall take their title to the land contained in such drainage easement subject to the perpetual easement herein reserved.

No fence, wall, hedge, tree or shrub planting which obstructs sight lines and elevations between three (3) and twelve (12) feet above the street shall be placed or permitted to remain on any corner lot within the triangular area formed by the street right-of-way lines extended and a line connecting points forty (40) feet from the intersection of said street lines extended. The same sight line limitations shall apply to any lot within ten (10) feet of the intersection of a street right-of-way line with the edge of the driveway pavement or alley line. No driveway shall be located within seventy five (75) feet of the intersection of two street centerline lines.

In the event storm water drainage from any lot or lots flows across another lot, provision shall be made to permit such drainage to continue without restrictions or reduction, across the downstream lot and into the natural drainage channel or course, even though no specific drainage easement for such flow of water is provided on the within plat.

Easement Maintenance: On drainage easements, the Town of Fishers shall be responsible for the care, maintenance, repair and/or replacement of actual structures in place, such as sewer pipes, manhole castings, etc., and each property owner as it pertains to their lot or lots shall maintain surface drainage systems and open swales. The Town shall have access rights over and across said easement.

The right to enforce the within restrictions, limitations and covenants by injunction is hereby dedicated and reserved to the owners of lots in this subdivision, their heirs and assigns, who shall be entitled to such relief within being required to show any damage of any kind to such owner or owners, by or through any such violation or attempted violation. Said provisions shall be and continue in full force and effect for a period of twenty (20) years from the recorded date of this plat and thereafter unless and until by a vote of the then owners of a two-thirds majority of the total lots in this subdivision it is agreed to change the covenants in whole or in part. Invalidity of any one of these covenants by judgement or court order shall in no way affect any of the other provisions which shall remain in full force and effect.

Witness our hands this 17th day of MARCH, 1995

Thompson Land Company, Inc.
An Indiana Corporation
Corby D. Thompson
Corby D. Thompson, President
Jeffrey E. Thompson
Jeffrey E. Thompson, Secretary
STATE OF INDIANA }
COUNTY OF HAMILTON } SS:

Before me, the undersigned Notary Public, in and for the County and State, personally appeared Corby D. Thompson, President, and Jeffrey E. Thompson, Secretary, and each separately and severally acknowledged and execution of the foregoing instrument as his voluntary act and deed, for the purposes therein expressed. Witness my hand and notarial seal this 17th day of MARCH, 1995.

Donna Hansen
Notary Public
Donna Hansen
Printed Notary My commission expires: MAY 18, 1995



This instrument prepared by Corby D. Thompson, President, Thompson Land Company, Inc. an Indiana Corporation.